

WARING SLO TOWNHOMES



DRAWING INDEX

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT UNIFORM BUILDING CODE AND LOCAL CODE REQUIREMENTS INCLUDING O.S.H.A. STANDARDS
- GENERAL CONTRACTOR SHALL VISIT THE PROJECT AND SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK. ENGINEER OR ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES FOUND.
- TYPICAL DETAILS SHALL APPLY WHERE NO SPECIAL DETAIL IS SHOWN
- ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY ERECTION BRACING ON ALL BEAMS, WALLS, ETC. TO PROVIDE FULL STRUCTURAL STABILITY. BRACING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS DESIGN LOADING.
- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE STRUCTURAL DRAWINGS.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- DESIGN MATERIAL, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE. PROVIDE PRIOR APPROVAL IS OBTAINED FROM THE OWNER, ARCHITECT/ENGINEER, AND THE APPLICABLE GOVERNING CODE AUTHORITY.
- ALL A.S.T.M. DESIGNATIONS SHALL BE AMENDED TO DATE.

PREVAILING CODES

- THE CURRENT PREVAILING BUILDING & CONSTRUCTION CODE IN THE CITY OF LOS ANGELES ARE :
 - 2014 EDITION OF L.A.B.C. BUILDING CODE
 - 2014 EDITION OF L.A.B.C. MECHANICAL CODE
 - 2014 EDITION OF L.A.B.C. PLUMBING CODE
 - 2014 EDITION OF L.A.B.C. ELECTRICAL CODE
 - 2014 CALIFORNIA ENERGY CODE (TITLE 24) & TITLE 18 OF THE MUNICIPAL CODE
 - 2014 CALIFORNIA RESIDENTIAL CODE
 - 2014 CALIFORNIA GREEN CODE
 - 2014 CALIFORNIA FIRE CODE
 - 2014 FIRE PROTECTION ASSOCIATION (NFPA 72)
 - LOS ANGELES MUNICIPAL CODE
- PUBLIC WORKS PERMIT IS REQUIRED PRIOR TO DOING SIDEWALK OR CURB WORK
- DEPUTY INSPECTOR IS REQUIRED FOR EPOXY HOLDDOWNS

NO.	TITLE	
T-1	TITLE SHEET	GB-1
T-2	SOIL REPORT APPROVAL LETTER	GB-2
T-3	RESOLUTION	T-24.1 UNIT A
T-4	RESOLUTION	T-24.2 UNIT A
T-5	RESOLUTION	T-24.3 UNIT A
T-6	SOIL REPORT	T-24.1 UNIT B
T-7	SOIL REPORT AND ADDITIONAL NOTES	T-24.2 UNIT B
T-8	METHANE INVESTIGATION REPORT	T-24.3 UNIT B
A-1	SITE PLAN	T-24.1 UNIT C
A-1.1	SURVEY	T-24.2 UNIT C
A-2	OVERALL FIRST FLOOR PLAN	T-24.3 UNIT C
A-3	OVERALL SECOND FLOOR PLAN	T-24.1 UNIT D
A-4	OVERALL THIRD FLOOR PLAN	T-24.2 UNIT D
A-5	OVERALL ROOF PLAN	T-24.3 UNIT D
A-6	PROPOSED BUILDING ELEVATIONS	T-24.1 UNIT E
A-7	PROPOSED BUILDING ELEVATIONS	T-24.2 UNIT E
A-8	PROPOSED BUILDING SECTIONS	
A-9	PROPOSED BUILDING SECTIONS	
A-10	ENLARGE FLOOR PLANS - UNIT "A"	
A-11	ENLARGE FLOOR PLANS - UNIT "B" & "D"	
A-12	ENLARGE FLOOR PLANS - UNIT "C"	
A-13	ENLARGE FLOOR PLANS - UNIT "E"	
A-14	STAIR DETAILS	
D-1	TYPICAL DETAIL	
D-2	TYPICAL DETAIL	
D-3	MISC. DETAIL	
L-1	LANDSCAPING	
L-2	LANDSCAPING	
L-3	LANDSCAPING	

T-24.3 UNIT E

PROJECT DATA :

PROPOSED PROJECT :
 DEMO. 2-EXISTING HOMES UNDER A SEPARATE PERMIT.
 CONSTRUCT 5 NEW 3-STORY TOWN HOMES WITH 2-CAR GARAGE PER UNIT.
 FULLY FIRE-SPRINKLERED (NFPA13)
 ZONE : [Q]R3-1XL
 LOT SIZE (GROSS): 9,029 S.F.
 LOT SIZE AFTER DEDICATION (NET): 8,106 S.F.
 LOT COVERAGE: 4,228 S.F.(52.15%)
 MAX. HEIGHT : 30'-0"
 UNITS PROPOSED : 5
 OCCUPANCY: R-3/U
 TYPE OF CONSTRUCTION : VB
 NUMBER OF STORIES : 3
 THESE BUILDINGS WILL BE FULLY FIRE SPRINKLERED. (NFPA13)

SQUARE FOOTAGE BREAKDOWN

UNIT	FLOOR	AREA (S.F.)	ZONING CODE FLR AREA:	OCCUPANCY FLR AREA:	U OCCUPANCY FLR AREA:
UNIT "A"	FIRST FLOOR	190	1921 S.F.	2001 S.F.	371 S.F.
	GARAGE	371			
	SECOND FLOOR	839			
	SECOND FLOOR DECK	65			
	THIRD FLOOR	892			
THIRD FLOOR DECK	25				
TOTAL UNIT "A" 2,382 S.F.					
UNIT "B"	FIRST FLOOR	159	1886 S.F.	2020 S.F.	392 S.F.
	GARAGE	392			
	SECOND FLOOR	841			
	SECOND FLOOR DECK	69			
	THIRD FLOOR	886			
THIRD FLOOR DECK	65				
TOTAL UNIT "B" 2,412 S.F.					
UNIT "C"	FIRST FLOOR	159	1886 S.F.	2020 S.F.	392 S.F.
	GARAGE	392			
	SECOND FLOOR	841			
	SECOND FLOOR DECK	69			
	THIRD FLOOR	886			
THIRD FLOOR DECK	65				
TOTAL UNIT "C" 2,412 S.F.					
UNIT "D"	FIRST FLOOR	159	1886 S.F.	2020 S.F.	392 S.F.
	GARAGE	392			
	SECOND FLOOR	841			
	SECOND FLOOR DECK	69			
	THIRD FLOOR	886			
THIRD FLOOR DECK	65				
TOTAL UNIT "D" 2,412 S.F.					
UNIT "E"	FIRST FLOOR	159	1886 S.F.	2020 S.F.	392 S.F.
	GARAGE	392			
	SECOND FLOOR	841			
	SECOND FLOOR DECK	69			
	THIRD FLOOR	886			
THIRD FLOOR DECK	65				
TOTAL UNIT "E" 2,412 S.F.					
TOTAL BUILDING FLOOR AREA (GROSS)		12,030			

NOTE :

- PROVIDE APPROVED MANUAL FIRE ALARM (SEPARATE PERMIT)
- THIS BUILDING SHALL BE PROVIDED WITH MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCE WITH NFPA 72". (907.2.9, 907.5.2.3.3, 907.5.2.3.4)
- WALL, FLOOR & CEILING FINISHES SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION OF "C" AS REQ L.A.B.C.T-803.9
- RETAINING WALLS, GRADING WORK, BLOCK FENCE WALLS, FIRE SPRINKLERS SYSTEMS, ELECTRICAL, MECHANICAL, PLUMBING, AND DEMOLITION SHALL BE PER SEPARATE PERMIT.
- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLY WITH (NFPA-13/NFPA-13R); THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR INSTALLATION. (903.2)

CONSULTANT

ARCHITECT:

OLFATI DESIGN GROUP
 5199 E. PACIFIC COAST HWY.
 LONG BEACH, CA 90804
 TEL : (562) 986-4313
 FAX : (562) 972-9777

PROJECT ADDRESS

7369 W. WARING AVE.
 LOS ANGELES, CA. 90046
 802 N. MARTEL AVE.
 LOS ANGELES, CA. 90046

LEGAL DESCRIPTION

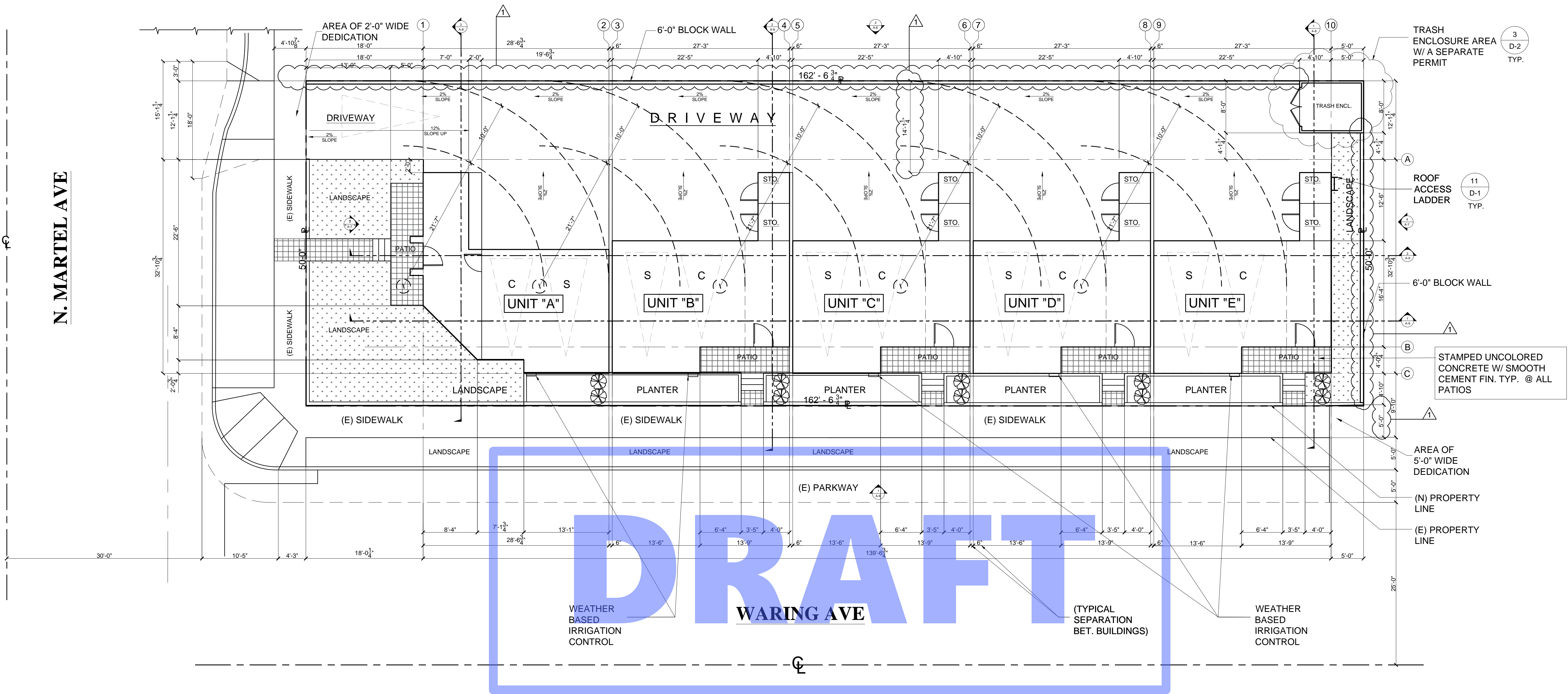
*7369 W. WARING :
 E. 82.28 FT. OF LOT 73
 TRACT # 5665
 A.P.N. # 5526-006-028

*802 N. MARTEL AVE. :
 W. 82.22 FT. OF LOT 73
 TRACT # 5665
 A.P.N. # 5526-006-029

VICINITY MAP



N. MARTEL AVE



SITE PLAN CORRECTION NOTES :

- 1- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
- 2- BUILDING ON SITE WITH 5000 SQUARE FEET OR MORE OF CUMULATIVE LANDSCAPE ARE SHALL HAVE SEPARATE METERS OR SUBMETERS FOR OUTDOOR WATER USE

LANDSCAPE AREA CALCULATION:

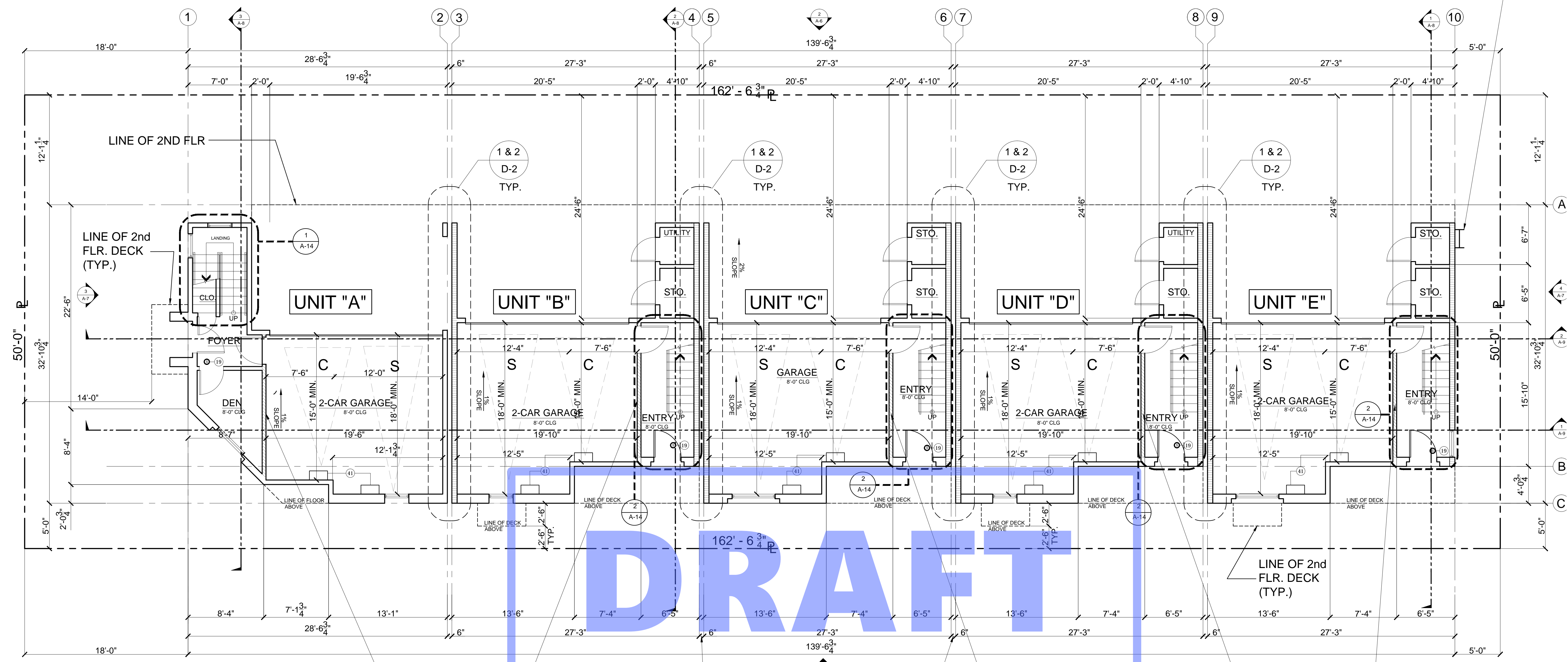
HARDSCAPE AREA :	3770 SF.
LANDSCAPE AREA :	916 SF.
PLANTED AREA :	543 SF.

REFLECTIVE CONCRETE FINISH NOTES

EXPOSED PAVED AREA: 3770 S.F.
 AREA TO BE TREATED: 3770 S.F. MIN.
 INSTALL HIGH ALBEDO LIGHT COLOR CONCRETE AT SIDE & REAR YARD W/
 SOLAR REFLECTANCE VALUE OF 0.30 AS PER ASTM STAND # E 1918 ORC1549



11 ROOF ACCESS LADDER D-1 TYP.



DRAFT

CHARGING STATION NOTES

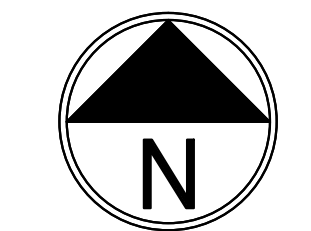
- INSTALL A MINIMUM 1-INCH (INSIDE DIAMETER) RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
- WHERE MULTIPLE CHARGING SPACES ARE REQUIRED, SHOW LOCATION(S) AND TYPE OF EVSE, RACEWAY METHOD(S), ONLY UNDERGROUND RACEWAY AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION. ELECTRICAL CALCULATION SHALL VERIFY THAT SYSTEM HAS SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL RATE AMPERAGE BASED ON LEVEL 2 EVSE.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2).
- CHARGING STATION 208/240V GROUNDED A.C. OUTLET, TOTAL PARKING (12) CHARGING STATIONS REQUIRED (1).
- THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MIN. DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

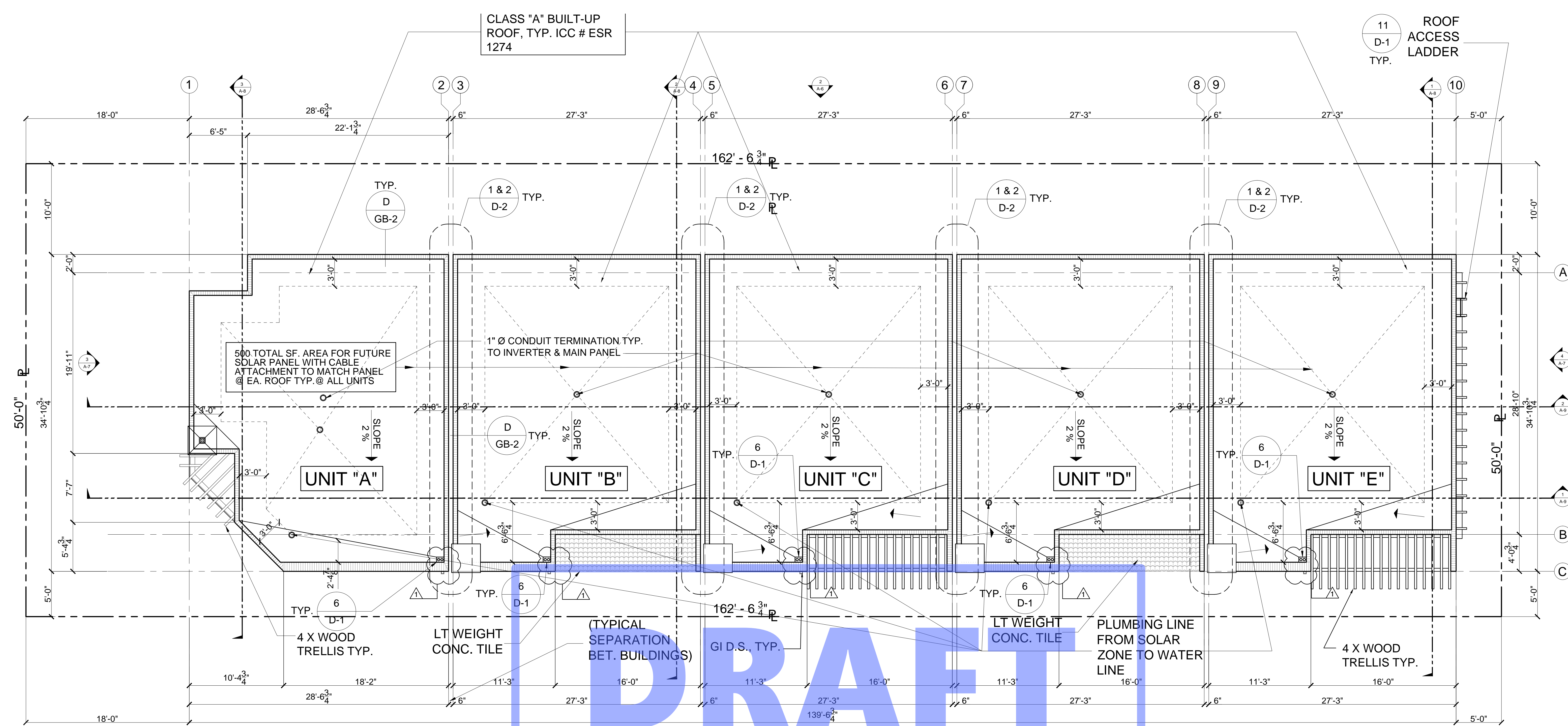
GREEN BUILDING CORRECTION NOTES :

A. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION, THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".

- NOTES:**
- 32"x 60" ENAMEL CAST IRON TUB/SHOWER AND CER. TILE OR STONE FIN. TO 72" ABOVE DRAIN AT ALL WALLS WITH TEMPERED GLASS ENCL. AND ANOD. FRAME.
 - SHOWER W/ CER. TILE OR STONE FIN. (ON ALL WALLS MIN. 72" ABOVE DRAIN) SHOWER WITH HOT MOPPED CUSTOM RECEPTOR SHOWER WITH HOT MOPPED CUSTOM RECEPTOR AND TEMPERED GLASS ENCL. W/ ANOD. ALUM. FRAME. (GLASS TO BE CATEGORY II)
 - SHOWER SEAT
 - 42"x60" TUB
 - RECESSED MED CAB.
 - VANITY
 - WASHER SPACE, W/ WASTE DRAIN/HOT AND COLD WATER.
 - DRYER SPACE, W/ 4" DIAM. VENT TO OUTSIDE.
 - LAUNDRY SINK
 - LINEN
 - LINE OF FLOOR BELOW.
 - LINE OF FLOOR ABOVE.
 - 42" HIGH RAILING W/ MAX. 3 1/2" OPENING.
 - PROVIDE SHELF AND 2-POLES.
 - 22"x30" ATTIC ACCES. (W/MIN. 30" HEAD CLEARANCE)
 - METAL FIREPLACE: (REFER TO MANUFAC.'S SPECS. FOR INSULATION REQUIREMENTS) PROVIDE FUEL GAS, GAS ONLY MISSION, LOOSE KEY VALVE, 20" HEARTH. (EXTEND 8" AT END) OUTSIDE AIR INTAKE VALVE AND GLASS DOOR (ICC ESR 2542)
 - SMOKE DETECTOR (HARD WIRED AT ALL NEW CONSTRUCTION AREA, W/ BATTERY BACK-UP. INSTALL AS PER MANUFAC. SPECS.)
 - MAX. 1.28 GAL. (4.8 LITERS) LOW FLUSH TOILET
 - TANKLESS WATER HEATER
 - 36" WIDE GAS STOVE, INSTALL PER MANUFACTURER'S SPECS
 - 32"x21" DBL. COMPARTMENT STAINLESS SINK W/GARBAGE DISPOSAL
 - 36" WIDE REFRIGERATOR SPACE, PROVIDE COLD WATER STUB OUT FOR ICE MAKER
 - BUILT-IN DISHWASHER
 - EXHAUST FAN W/ MIN. 5 AIR CHANGES/HOUR (MIN. 100 CFM CAPACITY REQ.) (ENERGY STAR COMPLIANT, DUCTS TO OUTSIDE W/ HUMIDISTRAT FAN ALL @ NEW CONSTRUCTION)
 - PREP SINK
 - ISLAND
 - F.A.U.
 - CARBON MONOXIDE DETECTOR 110V, W/ BATTERY BACK-UP (INTERCONNECTED @ NEW CONSTRUCTION)
 - NEW 4 X 8 BEAM WITH 4X4 POST
 - VENT TO ROOF
 - 18" HIGH PLYWOOD PLATFORM
 - HOT AND COLD WATER BIB
 - 2X6 PLUMBING WALL AT BOTH SIDES OF RATED WALL
 - GAS STUB
 - WATER HEATER ON 18" HIGH PLANT W/ P&T VALVE STRAPS TO WALL W 2- 2" WIRE 18 GA. METAL STRAPS
 - 5/8" TYPE "X" GYP BD FIN @ CEILING & WALLS
 - CHARGING STATION 208/240V GROUNDED A.C. OUTLET (TYP) 2 PER GARAGE , TOTAL OF 4
 - A.C. CONDENSOR UNIT

PROPOSED OVERALL FIRST FLOOR PLAN SCALE : 3/16" = 1'-0" 1





CLASS "A" BUILT-UP ROOF, TYP. ICC # ESR 1274

11 ROOF ACCESS LADDER TYP. D-1

500 TOTAL SF. AREA FOR FUTURE SOLAR PANEL WITH CABLE ATTACHMENT TO MATCH PANEL @ EA. ROOF TYP. @ ALL UNITS

1" Ø CONDUIT TERMINATION TYP. TO INVERTER & MAIN PANEL

UNIT "A"

UNIT "B"

UNIT "C"

UNIT "D"

UNIT "E"

4 X WOOD TRELLIS TYP.

LT WEIGHT CONC. TILE

(TYPICAL SEPARATION BET. BUILDINGS)

GT D.S., TYP.

LT WEIGHT CONC. TILE

PLUMBING LINE FROM SOLAR ZONE TO WATER LINE

4 X WOOD TRELLIS TYP.

524 RCAP PLUS BRIGHT WHITE REFLECTIVE CAP SHEET

Manufacturer: Malarkey Roofing Products
 Primary product type: Membrane: Single Ply Thermoplastic and Thermoel Roofing Steep Slope: Polymer/Composite Steep-Slope Products
 Membrane: Built-Up and Modified Bitumen Sheet Roofing
 Slope: Low

Please note that the CRRC does not set a minimum definition for "cool", the CRRC simply lists the measured radiative property values on our Directory. A product's placement on the Directory does not mean that the product is "cool" as defined by any particular code body or program.

*CRRC Rapid Ratings: These are interim laboratory-aged values that simulate weathered values. These values will be replaced with the measured three-year aged values upon completion of the weathering process. SRI values calculated using Rapid Ratings may change once the aged rating replaces the interim rating.

Product Description
 Product Use: 524 RCap™ Plus is a fire-rated cap sheet manufactured with reflective coating. 524 RCap™ Plus meets the requirements of the California Energy Code, Title 24, Part 6 as a cap sheet for conventional or modified built-up roofing systems. Approved for use on all fire-rated roofs. 524 RCap™ Plus can be applied with hot mopping asphalt or cold process adhesives as a surface sheet for multiple-ply roofing systems. Please consult with Malarkey Roofing Products™ for approval of roof systems.

Composition and Materials: 524 RCap™ Plus is manufactured on fiberglass mat uniformly impregnated and coated on both sides with bitumen (asphalt) compounded with a fire-retardant mineral stabilizer. 524 RCap™ Plus is surfaced with ceramic granules for ultraviolet protection and weatherability and has a factory-applied reflective coating.

Specifications		Technical Data	
Weight/Roll (nominal)	77lbs (35kg)	Initial Solar Reflectance	0.78
Dimensions	39 3/8" wide x 33' long (11M wide x 10.1M long)	3 Year Thermal Emittance	0.87
Coverage	1 Square	Initial Solar Emittance	0.22
Thickness (nominal)	105 mils	3 Year Solar Reflectance	0.78

CRRC		Manufacturing location	
Label Product ID	0000000000	Portland	Portland
Label Recycled Content	0%	Recycled Content	0%
Label Solar Reflectance Index (SRI)	95*	Solar Reflectance Index (SRI)	95*

*As manufactured, 524 RCap™ Plus meets the requirements of ASTM D3996 (prior to coating). Fire Rating listed by Intertek/WHI. Complies with California Energy Code, Title 24, Part 6.

Application
 Application Procedure: 524 RCap™ Plus shall be applied as specified with base sheets and/or interply sheets. See Malarkey Specification Manual for specific installation instructions. 524 RCap™ Plus is approved for use on fire-rated built-up roofs. Contact Malarkey's Technical Department for details.

Precautions: 524 RCap™ Plus requires dry storage and protection from the weather. Roof decks should be sound, dry, smooth, meet necessary local requirements, and provide positive drainage.

Technical Assistance: Malarkey has technical services assistance available. Contact Malarkey for details at (800) 545-1191 or (503) 283-1191, weekdays 7:00 am to 5:00 pm Pacific Time.

Warranty
 Malarkey Roofing Products™ offers various warranties to meet specific requirements. The warranty package for 524 RCap™ Plus includes 5, 10, 15, and 20 year limited and unlimited coverage. Contact your roofer, local distribution center or Malarkey for full details.

524 RCap™ Plus and other Malarkey products are available throughout North America and Pacific Rim countries. Visit WWW.MALARKEYROOFING.COM for additional product information and availability.

Corporate Office: 3131 N. Columbia Blvd., Portland, OR 97217-7472 • P.O. Box 17217, Portland, OR 97217-0217
 Telephone: 503.283.1191 • 800.545.1191 • Fax: 503.283.7644 • WWW.MALARKEYROOFING.COM

- NOTE :**
- NO SLOPE @ ROOF SHALL BE LESS THAN 1/2" PER/ FT.
 - ALL ROOF COVERING SHALL COMPLY WITH 2014 L.A.B.C.
 - ALL VERTICAL ELEMENTS AND WALLS ABOVE ROOF SHALL HAVE CRICKETS W/ FLASHING & COUNTER FLASHING
 - PROVIDE ROOF TILE BACK

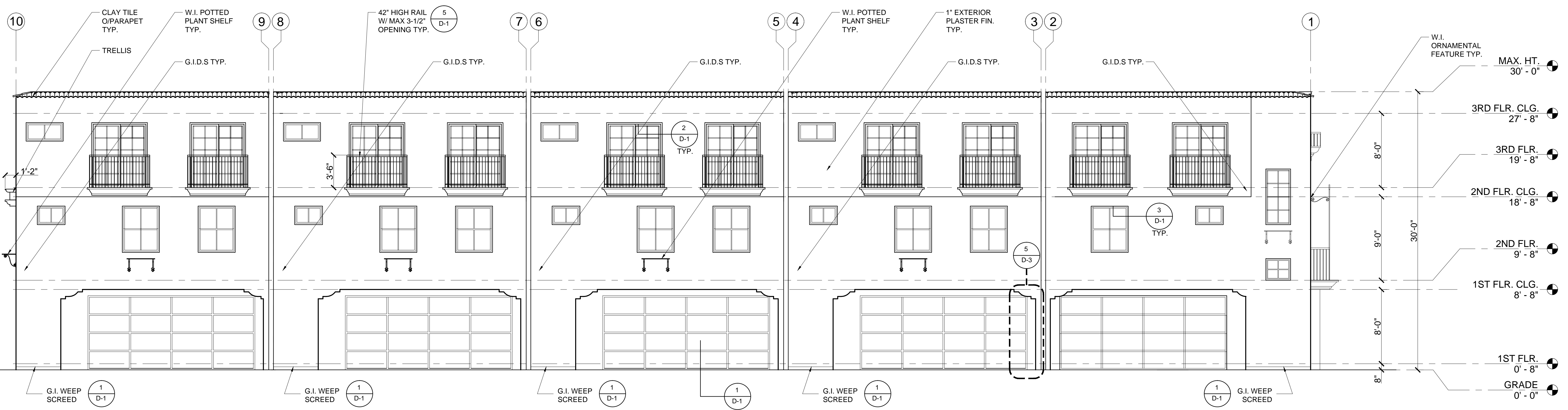
- NOTE:**
- ALL ROOFING INSTALLATION SHALL BE AS PER CHAPTER 15 OF 2014 L.A.B.C.
 - ATTIC VENTS SHALL MEET THE FOLLOWING
 - OPENING SHALL HAVE CORROSION - RESISTANCE WIRE MESH OR OTHER APPROVED MATERIAL W/ 1/8" MIN. & 1/4" MAX. OPNG.
 - A MIN. OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING

- NOTES:**
- FOR RESIDENTIAL BUILDINGS, OTHER THAN ONE- AND TWO-FAMILY DWELLINGS, COMPLY WITH THE FOLLOWING:
 - DESIGNATE ON THE ROOF PLAN SOLAR ZONE AREA(S) WITH TOTAL AREA EQUAL TO OR GREATER THAN 15% OF THE BUILDING'S ROOF AREA. THE SOLAR ZONE SHALL BE COMPRISED OF AREAS THAT HAVE NO DIMENSION LESS THAN 5 FEET AND EACH AREA SHALL NOT BE LESS THAN
 - 80 SQ. FT. FOR ROOF AREAS OF 10,000 SQ. FT. OR LESS
 - 160 SQ. FT. FOR ROOF AREAS OVER 10,000 SQ. FT.
 - FOR ROOF SLOPES >:12 (9.5° FROM HORIZONTAL), SHOW THAT THE SOLAR ZONE IS ORIENTED BETWEEN 110° AND 270° OF TRUE NORTH.
 - THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT.
 - PLANS SHALL INDICATE A LOCATION FOR INVERTERS AND METERING EQUIPMENT AND A PATHWAY FOR ROUTING FROM THE SOLAR ZONE TO THE MAIN SERVICE PANEL.
 - PLANS SHALL INDICATE A PATHWAY FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM.
 - ADD NOTES TO PLANS: " A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENTS INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10 (b) THROUGH 110.10(c) SHALL BE PROVIDED TO THE OCCUPANT "

NOTE: ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORMWATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN WRITTEN APPROVAL FROM LOS ANGELES, DEPT. OF PUBLIC WORKS, BUREAU OF SANITATION PRIOR TO CONSTRUCTION OF BMP(S)

PROPOSED OVERALL ROOF PLAN

SCALE : 3/16" = 1'-0" 1

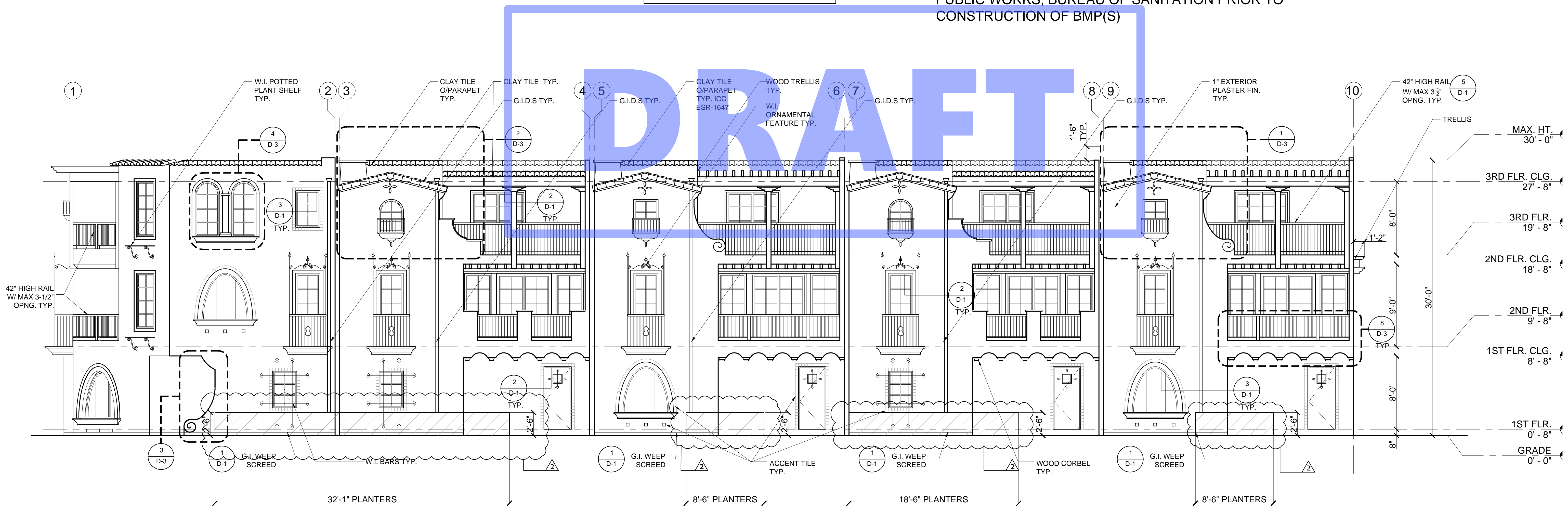


PROPOSED NORTH (REAR) ELEVATION

SCALE : 3/16" = 1'-0" 2

NOTE:
INSTALL ALL DOORS AND WINDOWS FLUSH WITH INTERIOR FACE OF WALLS TYP.

NOTE: ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORMWATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN WRITTEN APPROVAL FROM LOS ANGELES, DEPT. OF PUBLIC WORKS, BUREAU OF SANITATION PRIOR TO CONSTRUCTION OF BMP(S)



PROPOSED SOUTH (FRONT) ELEVATION

SCALE : 3/16" = 1'-0" 1

