

SHEET INDEX

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City of Long Beach • Accessory Dwelling Unit Garage Conversion Application

GENERAL NOTES

- ALL APPLICABLE CURRENT CODES SHALL APPLY (CRC, CEC, CPC, CMC, CA ENERGY CODE, CALGREEN, LONG BEACH CITY ORDINANCE).
- ANY DEVIATION FROM WHAT IS SHOWN IN THESE PLANS THAT IS STILL IN COMPLIANCE WITH CURRENT CODES (CRC, CEC, CPC, CMC, CA ENERGY CODE, CALGREEN, LONG BEACH CITY ORDINANCE), WILL BE ACCEPTABLE BY BUILDING AND SAFETY BUREAU.
- ALL PRODUCTS (CARPETS, SEALANTS, WOOD, ETC.) MUST FOLLOW CALIFORNIA GREEN BUILDING CODE VOC AND FORMALDEHYDE LIMITS.
- PROVIDE ANTI-SCALDING SHOWER AND TUB SHOWER VALVES.
- PROVIDE WATER RESISTANT BACKING BOARD AS A BASE FOR TILE OR WALL PANELS FOR TUB OR SHOWER ENCLOSURES OR WATER CLOSET COMPARTMENT WALLS.
- SHOWER COMPARTMENTS AND WALL ABOVE BATHTUB WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE DRAIN INLET.
- THE CONTROL VALVES IN BATHTUBS, WHIRLPOOL BATHTUBS, SHOWERS AND TUB-SHOWERS COMBINATIONS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- PER SB 407, ALL NON COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES CONFORMING TO THE LIST BELOW:  
MAXIMUM FLOW RATES:  
WATER CLOSETS 1.28 GAL/FLUSH  
SHOWERHEADS 2.0 GPM MAX FLOW RATE AT 80 psi AND SHALL BE CERTIFIED TO THE PERFORMANCE OF THE U.S. EPA WATERSENSE SPECS.  
LAVATORY FAUCETS 1.2 GPM AT 60 psi AND MIN FLOW OF 0.8 GPM AT 20 psi  
KITCHEN FAUCETS 1.8 GPM AT 60 psi
- CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH A 10 YEAR BATTERY AND HAVE A SILENCE FEATURE.
- SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. SMOKE ALARMS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURED MARKED ON THE UNIT.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED.
- COMBUSTION AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE TO THE PLUMBING CODE.
- PROVIDE A.F.C.I. PROTECTION FOR ALL NEW INTERIOR OUTLETS.
- PROVIDE BATHROOM A MINIMUM OF (1) 20 AMP CIRCUIT RECEPTACLE OUTLET. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM.
- A 15 AMP BRANCH CIRCUIT SHALL SUPPLY ONLY LIGHTING FIXTURES AND A 20 AMP BRANCH CIRCUIT SHALL BE PERMITTED TO SUPPLY LIGHTING FIXTURES, RECEPTACLES, FIXED APPLIANCES.
- PROVIDE RECEPTACLE OUTLETS AT EVERY 12' IN LIVING SPACE AND EVERY 4' IN KITCHEN WHERE THERE IS A COUNTER SPACE WIDER THAN 12".
- TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED PER CURRENT CODE. ALL NON-LOCKING-TYPE 12-VOLT: 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- PROVIDE EXHAUST FAN AND VANITY LIGHTING IN EACH BATHROOM OR A COMBINATION FAN, MIN 50 CFM. EXHAUST FANS SHALL BE ENERGY STAR RATED AND SHALL BE CONTROLLED BY A HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50% AND 80% HUMIDITY.
- ERODED SEDIMENTS AND POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE COVERED AND/OR PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL IT CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF STORM WATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE STREET/PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN Y RAIN OR BY ANY OTHER MEANS.
- CLEANOUT IS REQUIRED FOR AN ADU BUILDING DRAIN/SEWER.
- EXISTING LET-IN BRACING SHALL REMAIN.
- RANGE EXHAUST FAN FOR STOVE AT KITCHEN TO BE 100 CFM MIN.
- EXHAUST FAN WITH HUMIDISTAT IN BATHROOM TO BE 50 CFM MIN.

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**01. SITE PLAN**  
3/16" = 1'-0"

PROJECT TITLE  
**JADU/ADU FOR SINGLE FAMILY RESIDENCE**  
450 53RD ST  
LONG BEACH, CA 90805

PROJECT INFO:

DRAWN BY	JFJ
CHECKED BY	JFJ
DATE	2020-5-20

ISSUANCE

No.	Date	Item

PLAN CHECK REVIEW
SHEET TITLE SITE PLAN
SHEET NUMBER A1.00

PROJECT TITLE

# JADU/ADU FOR SINGLE FAMILY RESIDENCE

450 53RD ST  
LONG BEACH, CA 90805

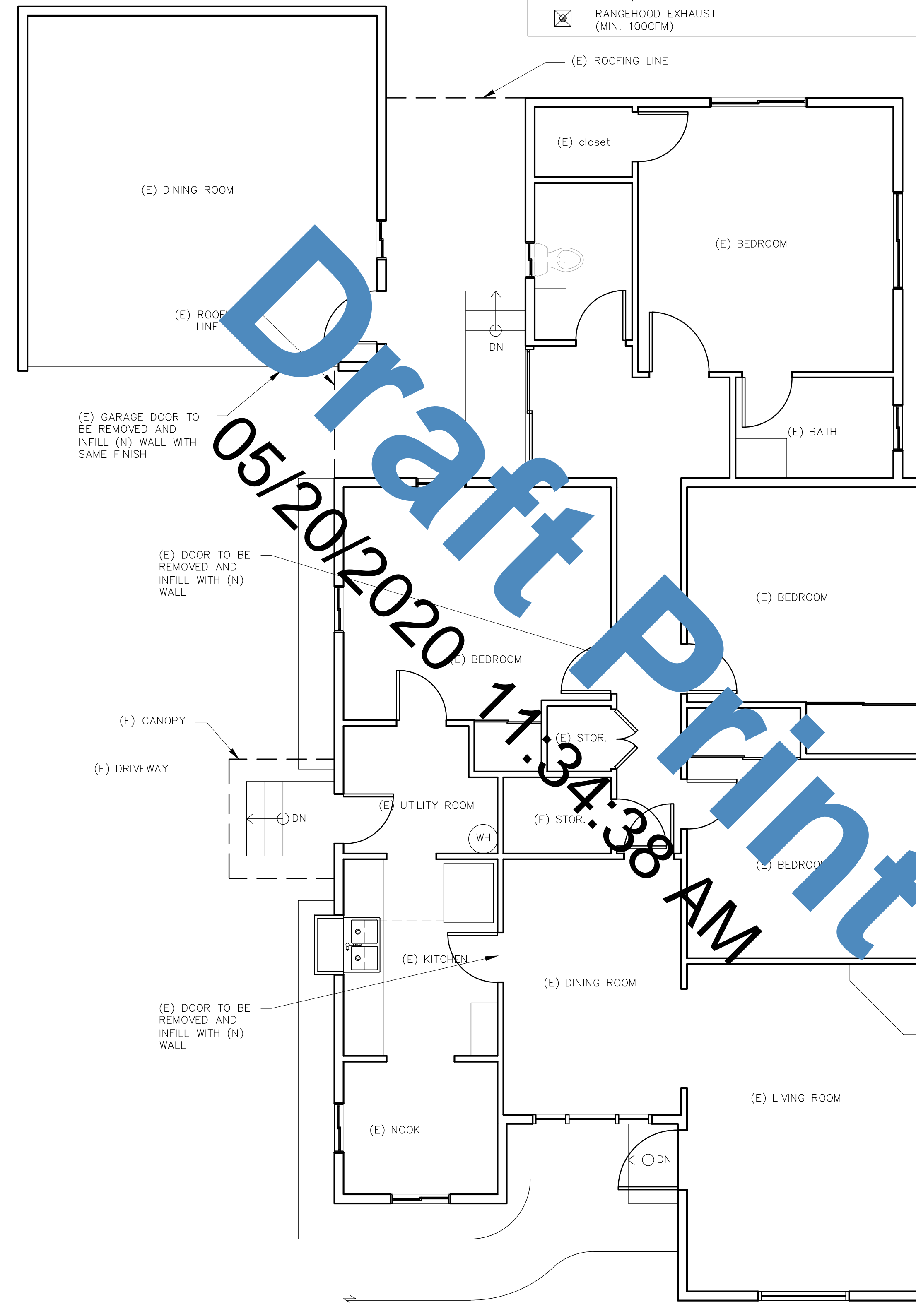
PROJECT INFO:

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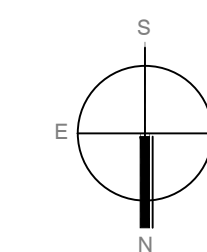
No.	Date	Item

LEGEND	
	(E) WALL TO REMAIN
	(N) WALL
	EXHAUST FAN (MIN. 50CFM)
	SMOKE DETECTOR / CARBON MONOXIDE ALARM
	CONVENIENCE OUTLET (GFCI FOR KITCHEN AND BATHROOM AREAS)
	RANGEHOOD EXHAUST (MIN. 100CFM)
	LETTERED SYMBOLS - REFER TO SCOPE OF WORK ON PAGE 2 OF APPLICATION
	NUMBERED SYMBOLS - REFER TO DETAILS BEGINNING ON PAGE 14 OF APPLICATION
	(E) WALL TO REMAIN



## 01. EXISTING OVERALL FLOOR PLAN

1/4" = 1'-0"



PLAN CHECK REVIEW

SHEET TITLE  
EXISTING FLOOR PLANS

SHEET NUMBER

A2.00

# JADU/ADU FOR SINGLE FAMILY RESIDENCE

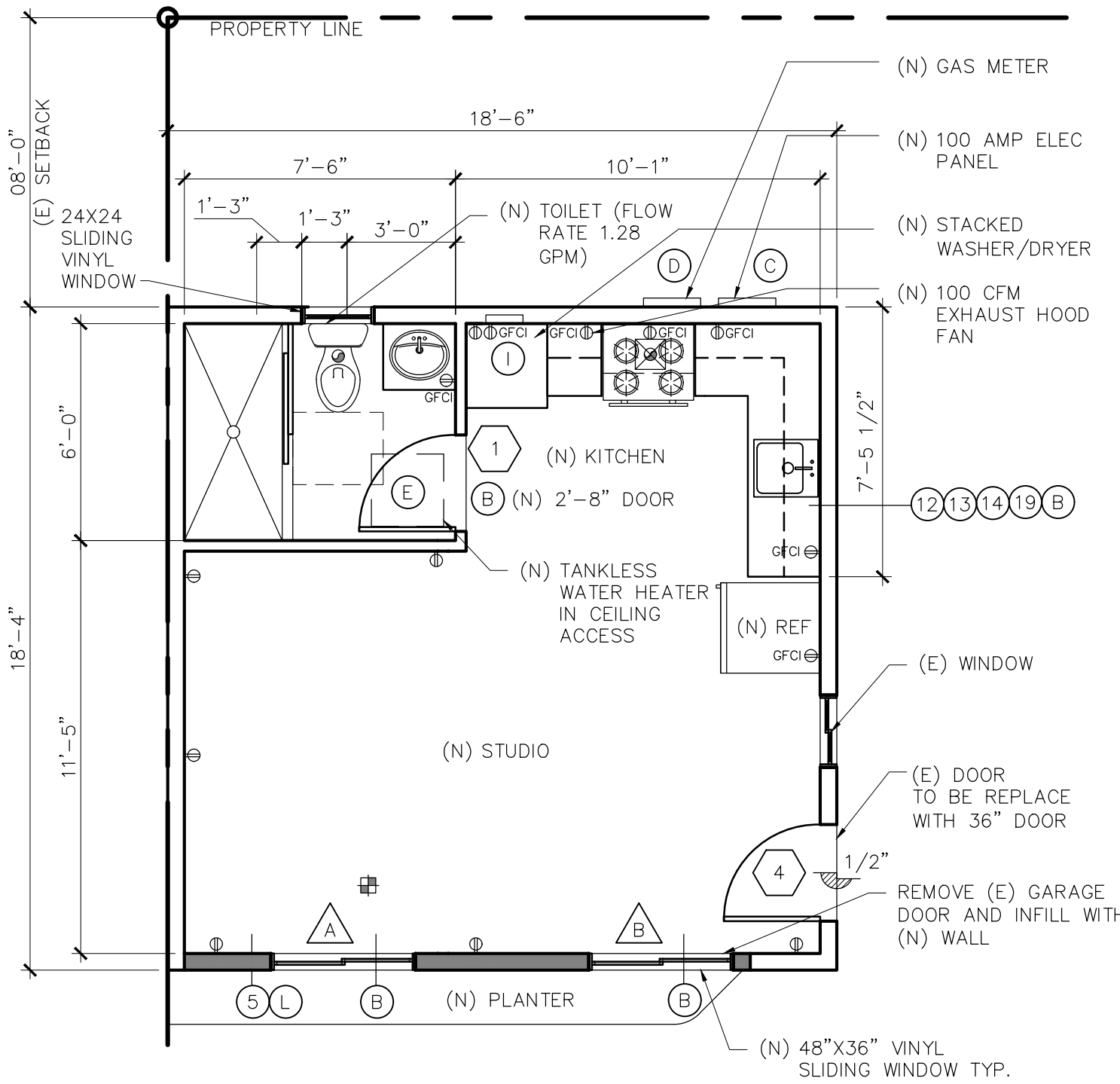
450 53RD ST  
LONG BEACH, CA 90805

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ISSUANCE

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**03. PROPOSED ADU FLOOR PLAN**

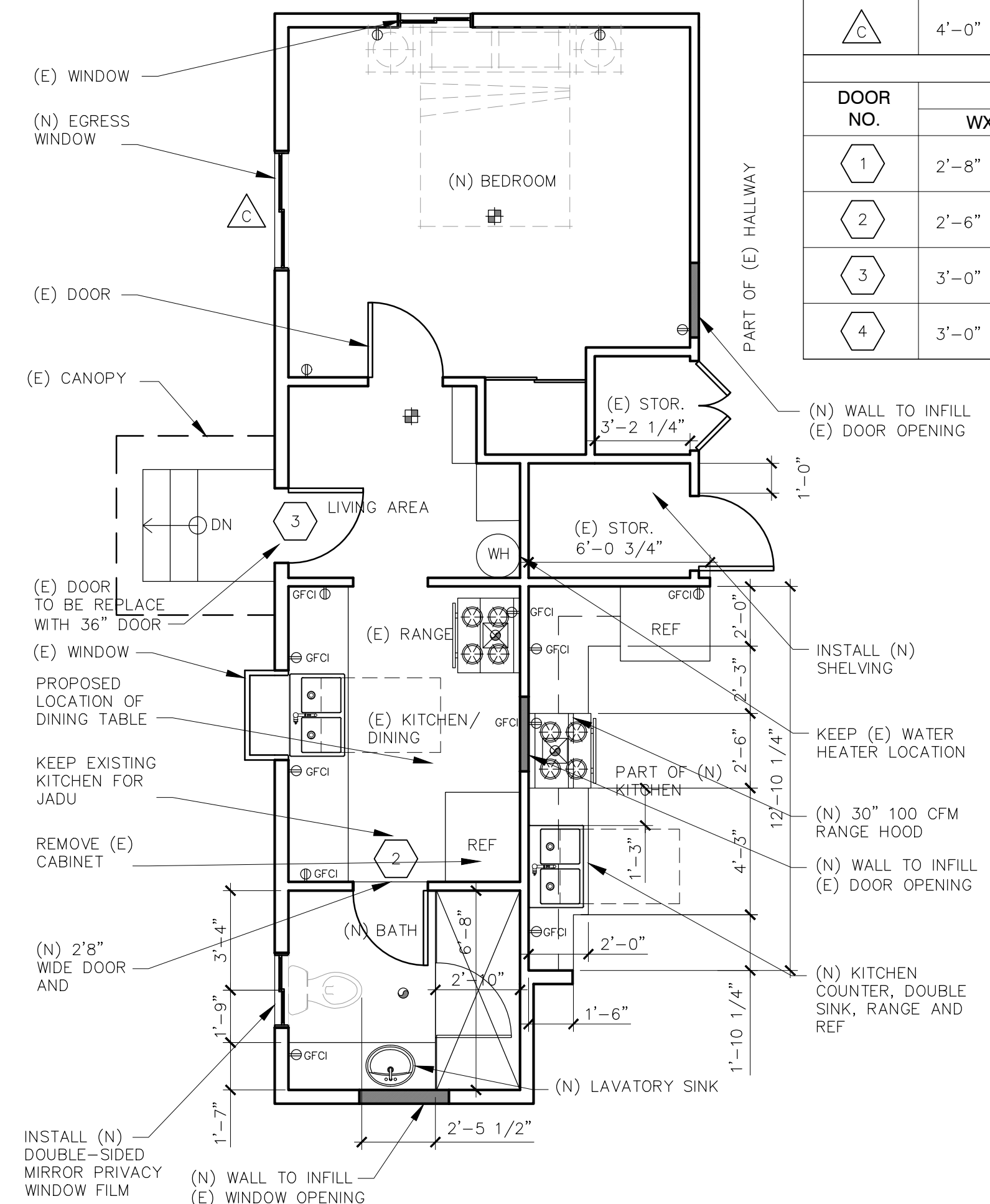
1/4" = 1'-0"

- SCOPE OF WORK
- (A) CHANGING EXTERIOR FINISH MATERIAL (NOT USED)
  - (B) INSTALLING WINDOWS/DOORS
  - (C) INSTALLING ELECTRICAL PANEL
  - (D) INSTALLING GAS METER
  - (E) INSTALLING TANKLESS WATER HEATER
  - (F) INSTALLING TANK WATER HEATER (NOT USED)
  - (G) INSTALLING AIR CONDITIONING (NOT USED)
  - (H) INSTALLING HEATING UNIT (NOT USED)
  - (I) INSTALLING WASHER/DRYER UNIT
  - (J) INSTALLING COVERED PATIO/PORCH (NOT USED)
  - (K) REROOFING EXISTING ROOF (NOT USED)
  - (L) REMOVING GARAGE DOOR AND INFILLING W/ NEW WALL
  - (M) INSTALLING FIRE SPRINKLER (NOT USED)

(N) WINDOW SCHEDULE					
WINDOW NO.	SIZE WXH	WINDOW			REMARKS
		OPERATION	TYPE	PANES	
A	4'-0" X 3'-0"	SLIDING	VINYL	DUAL	
B	4'-0" X 3'-0"	SLIDING	VINYL	DUAL	
C	4'-0" X 3'-0"	SLIDING	VINYL	DUAL	(N) EGRESS WINDOW @ BEDROOM

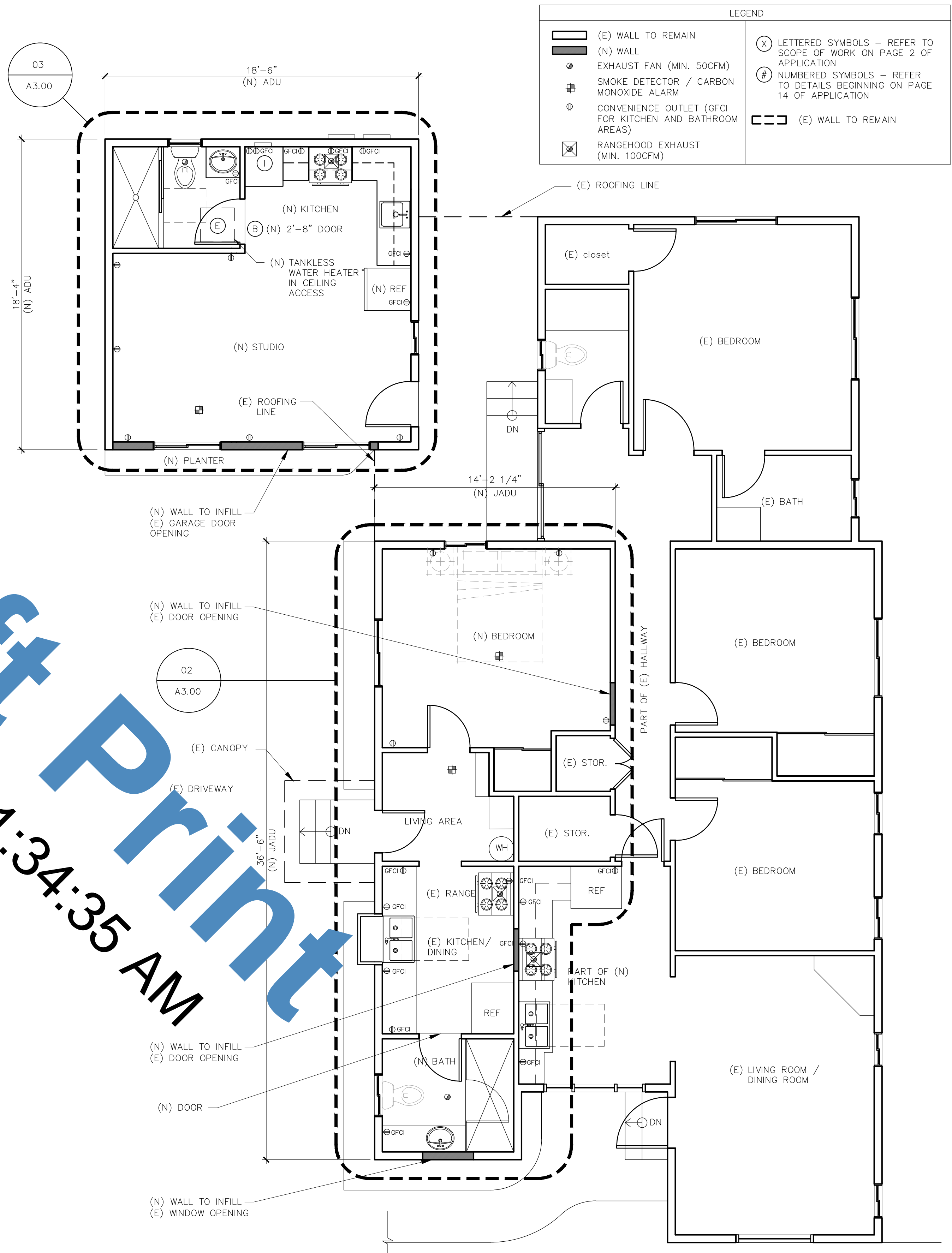
  

(N) DOOR SCHEDULE				
DOOR NO.	SIZE			REMARKS
	WXH	TH	FIN	
1	2'-8" X 6'-8"	1-3/4"	PAINTED	-
2	2'-6" X 6'-8"	1-3/4"	PAINTED	-
3	3'-0" X 6'-8"	1-3/4"	PAINTED	SOLID CORE
4	3'-0" X 6'-8"	1-3/4"	PAINTED	SOLID CORE



**02. PROPOSED JADU FLOOR PLAN**

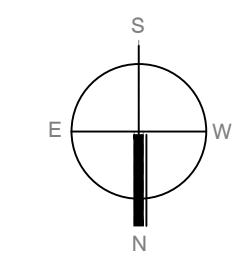
1/4" = 1'-0"



**01. PROPOSED OVERALL FLOOR PLAN**

1/4" = 1'-0"

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PROJECT TITLE

# JADU/ADU FOR SINGLE FAMILY RESIDENCE

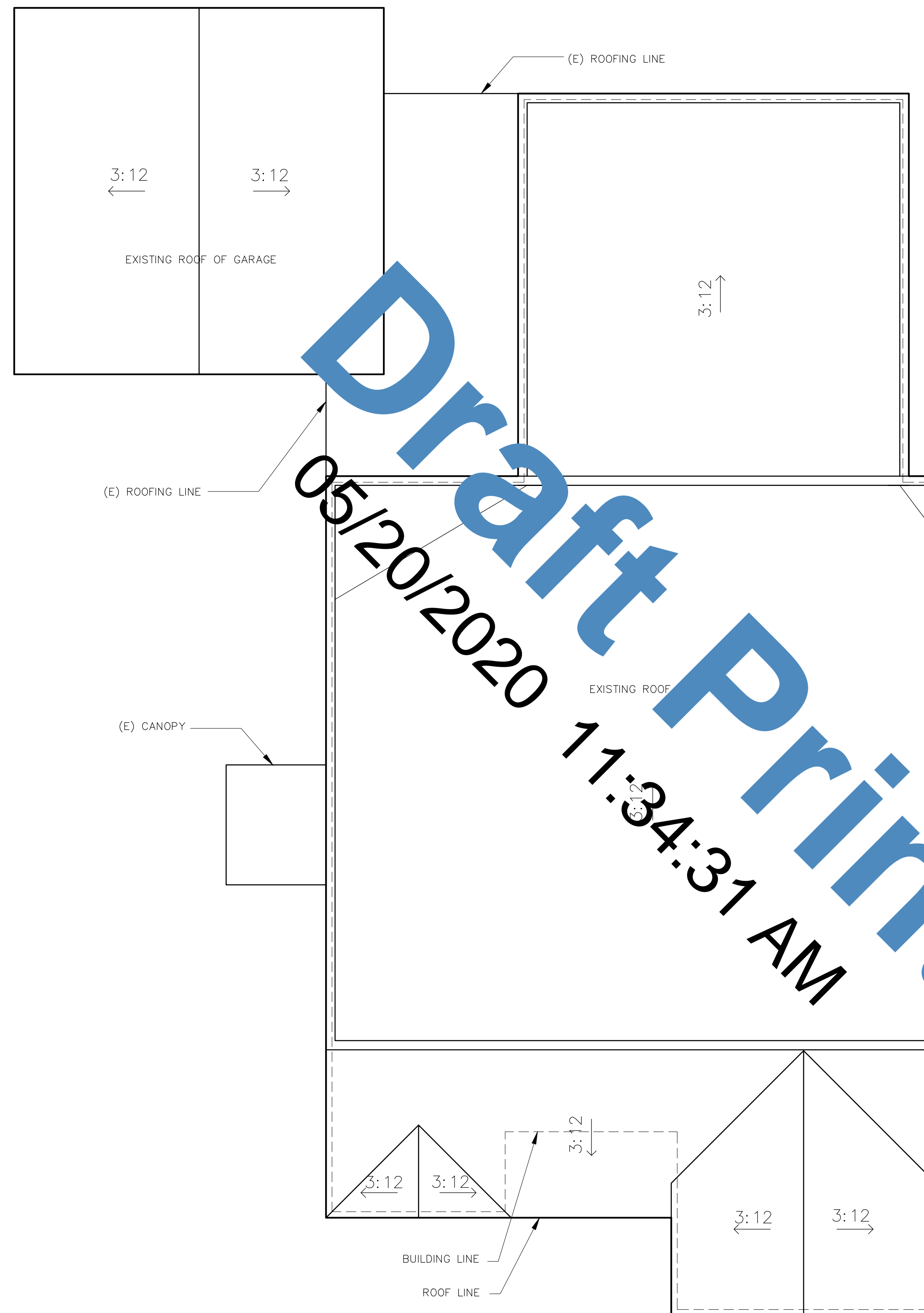
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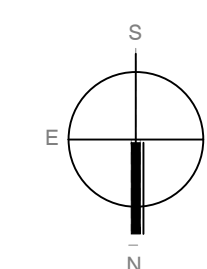


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## 01. ROOF PLAN

1/4" = 1'-0"



PLAN CHECK REVIEW

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A4.00

PROJECT TITLE

**JADU/ADU FOR SINGLE FAMILY RESIDENCE**

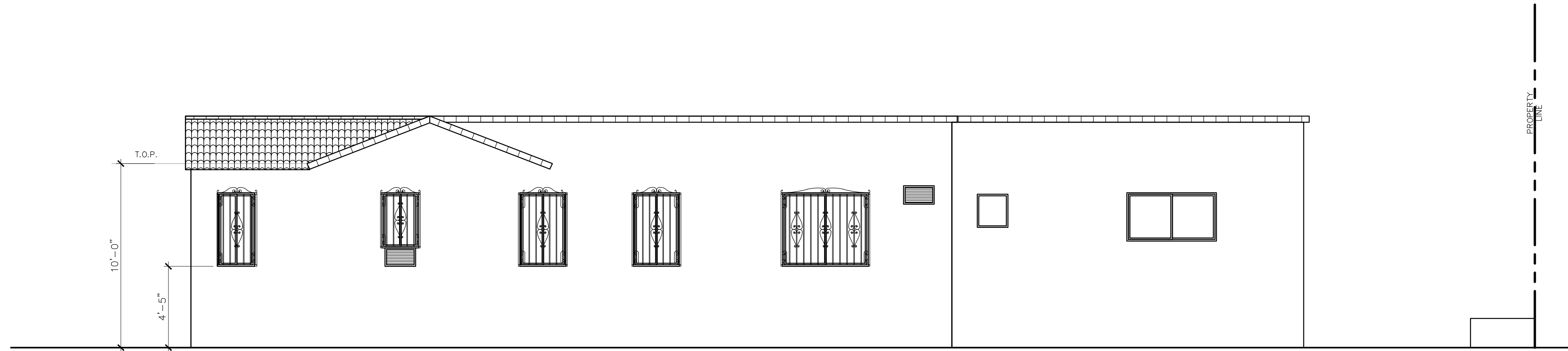
450 53RD ST  
LONG BEACH, CA 90805

PROJECT INFO:

DRAWN BY	JFJ
CHECKED BY	JFJ
DATE	2020-5-20

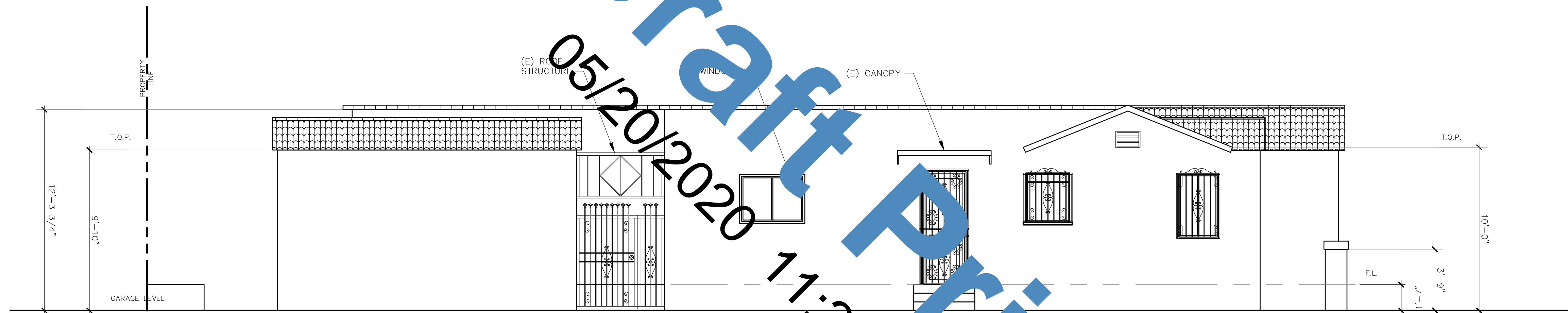
ISSUANCE

No.	Date	Item



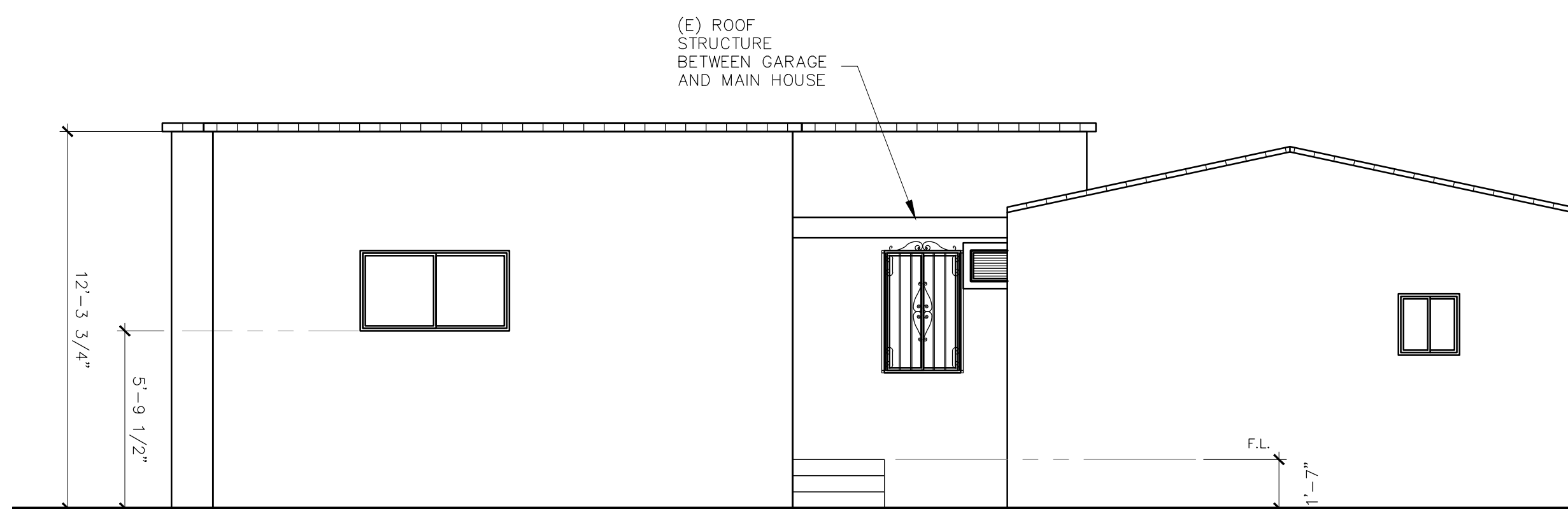
**04. WEST ELEVATION**

1/4" = 1'-0"



**03. EAST ELEVATION**

1/4" = 1'-0"



**02. SOUTH ELEVATION**

1/4" = 1'-0"



**01. NORTH ELEVATION**

1/4" = 1'-0"

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PLAN CHECK REVIEW

SHEET TITLE  
ELEVATIONS

SHEET NUMBER

**A5.00**

# JADU/ADU FOR SINGLE FAMILY RESIDENCE

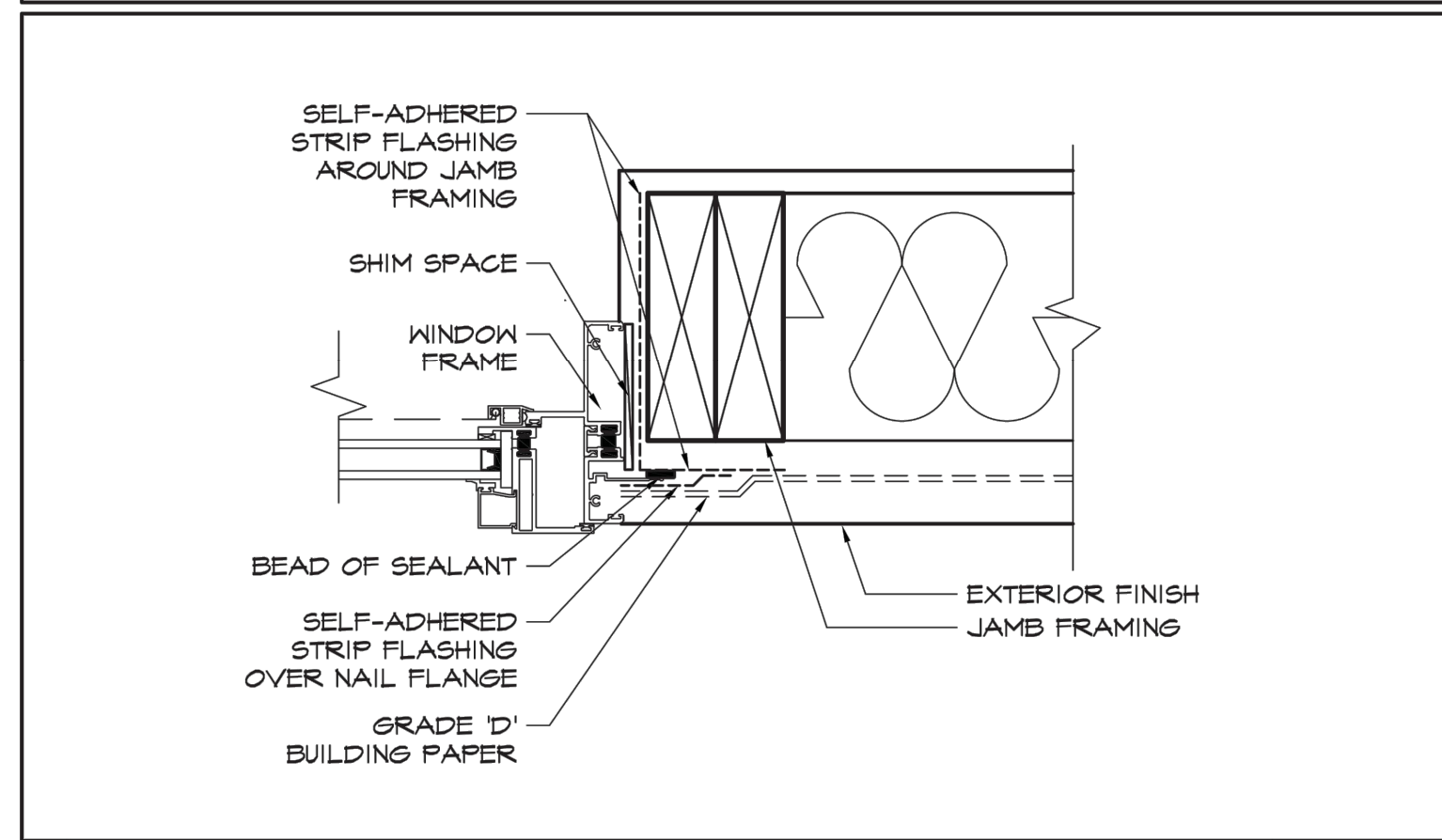
450 53RD ST  
LONG BEACH, CA 90805

PROJECT INFO:

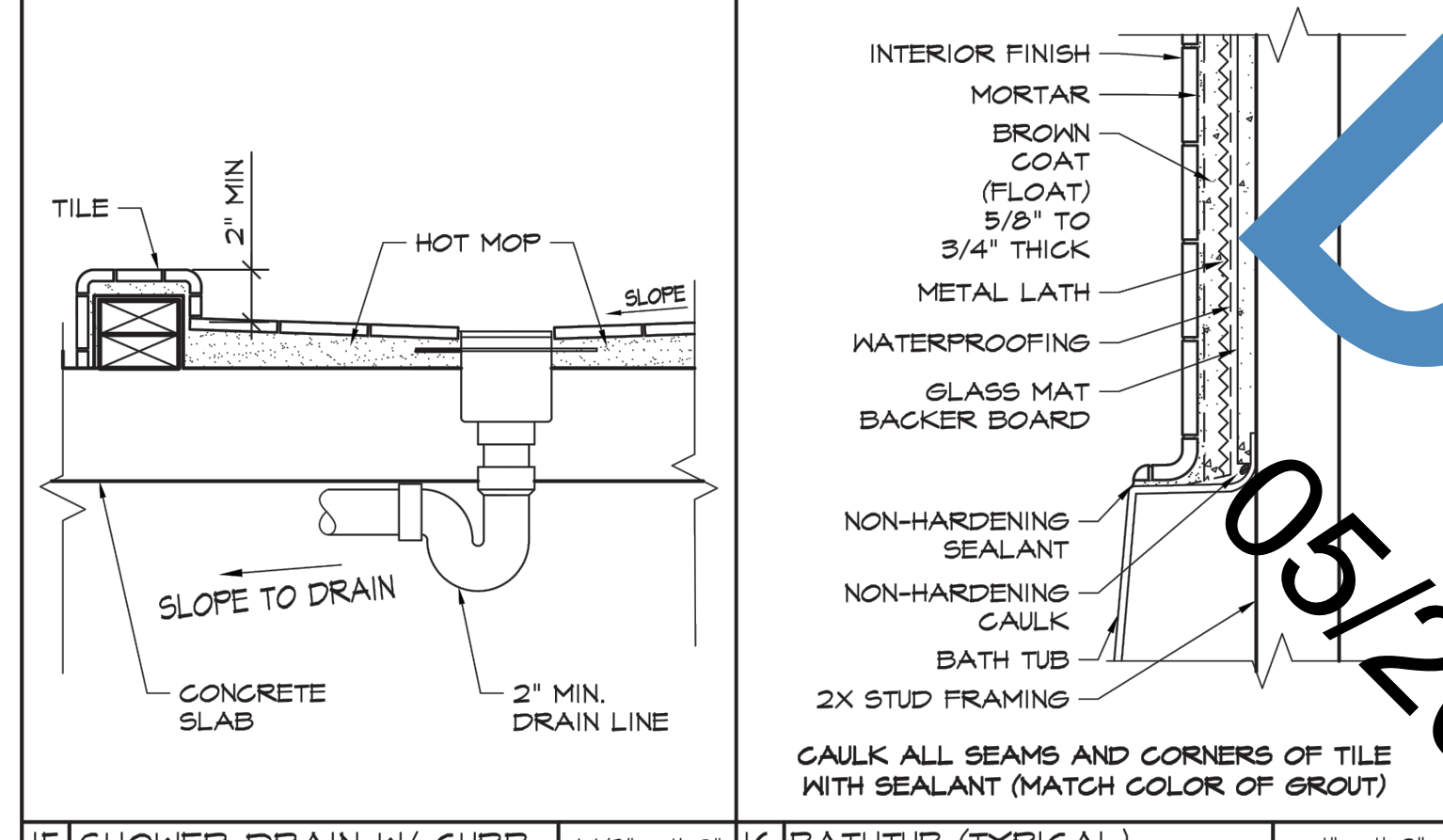
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CHECKED BY	JFJ
DATE	2020-5-20

ISSUANCE

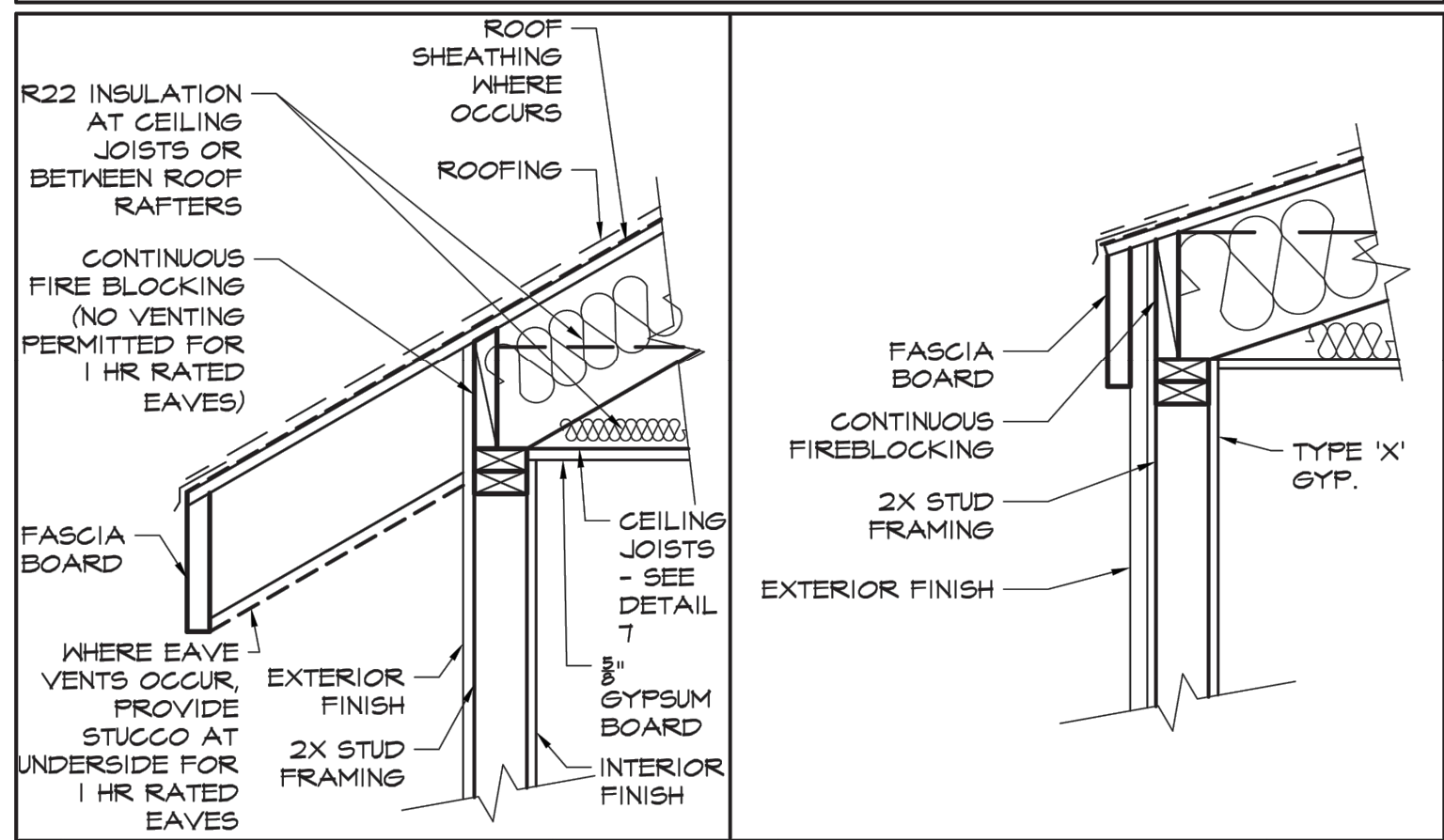
No.	Date	Item



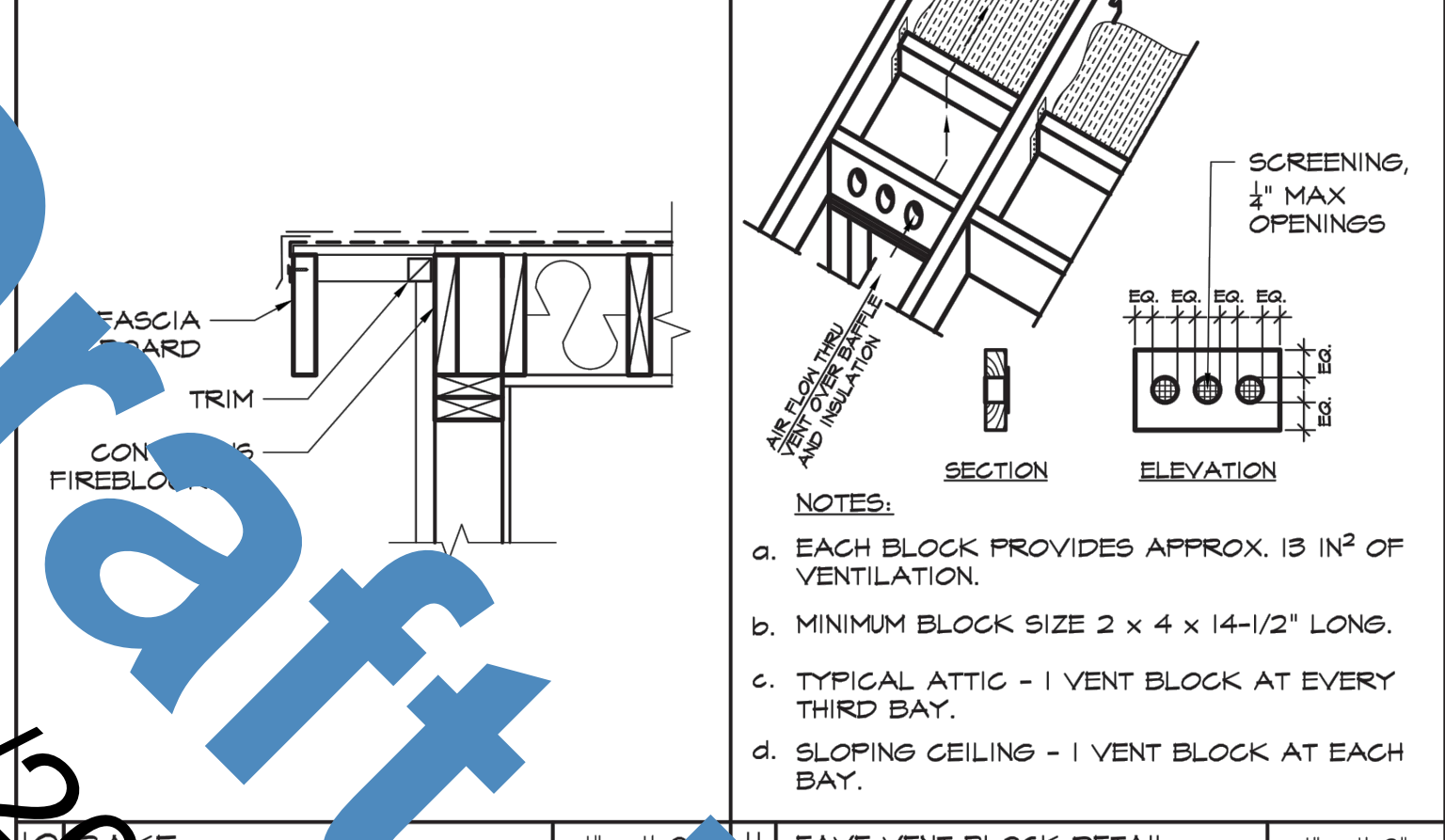
14 NEW WINDOW JAMB 3" = 1'-0"



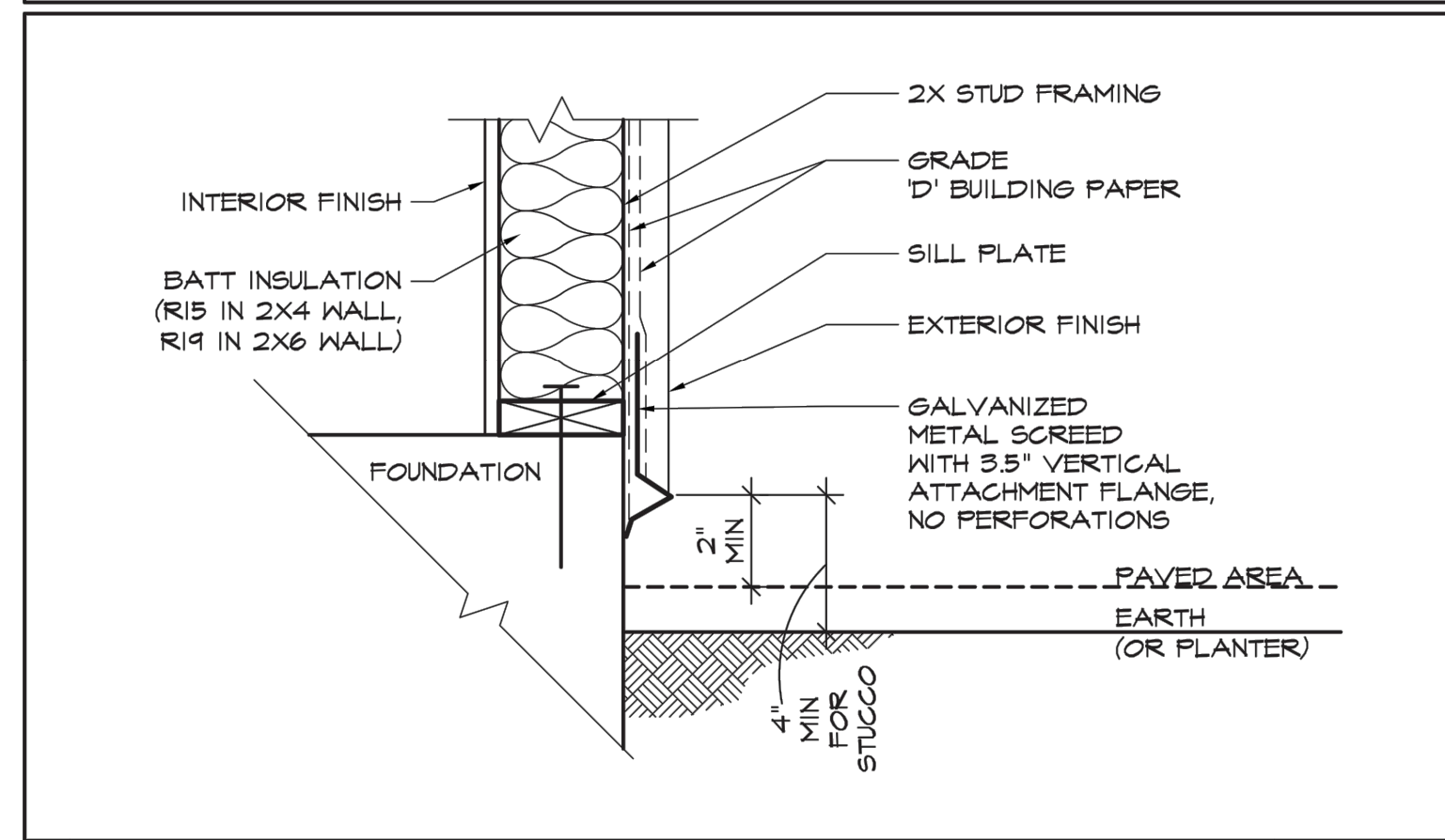
15 SHOWER DRAIN W/ CURB 1 1/2" = 1'-0" 16 BATHTUB (TYPICAL) 1" = 1'-0"



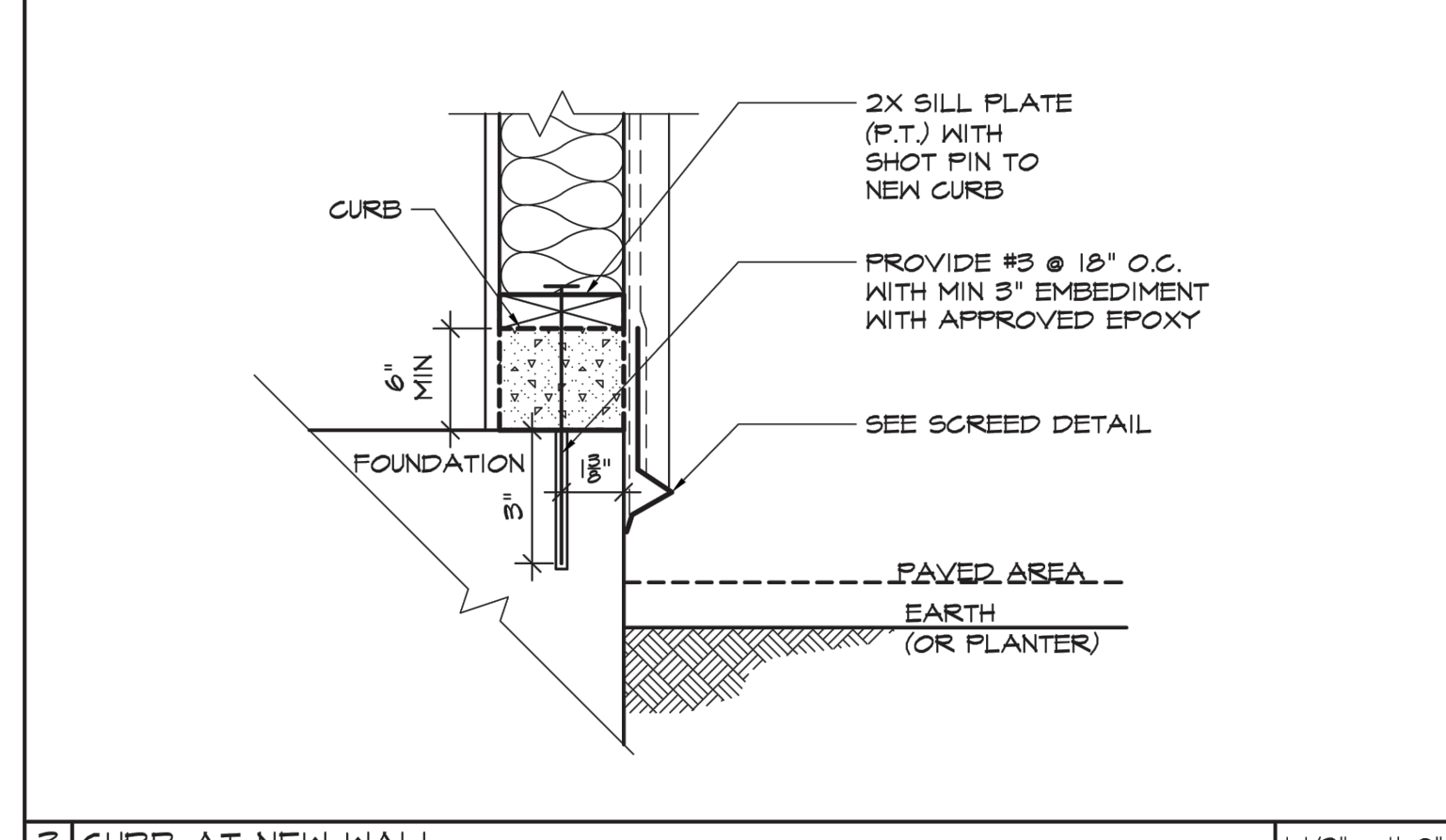
8 EAVE 1" = 1'-0" 9 CLIPPED EAVE 1" = 1'-0"



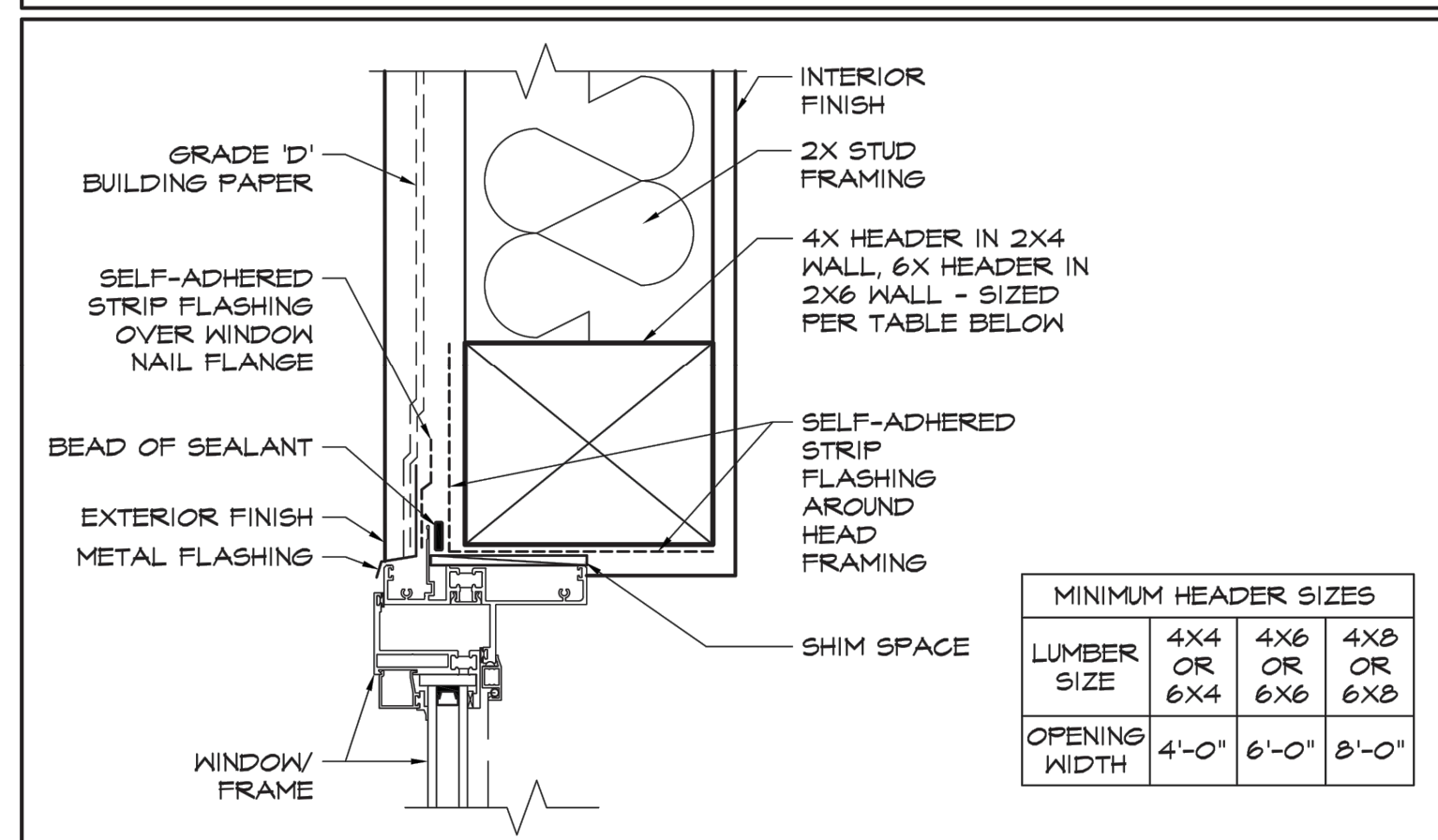
10 EAVE VENT BLOCK DETAIL 1" = 1'-0"



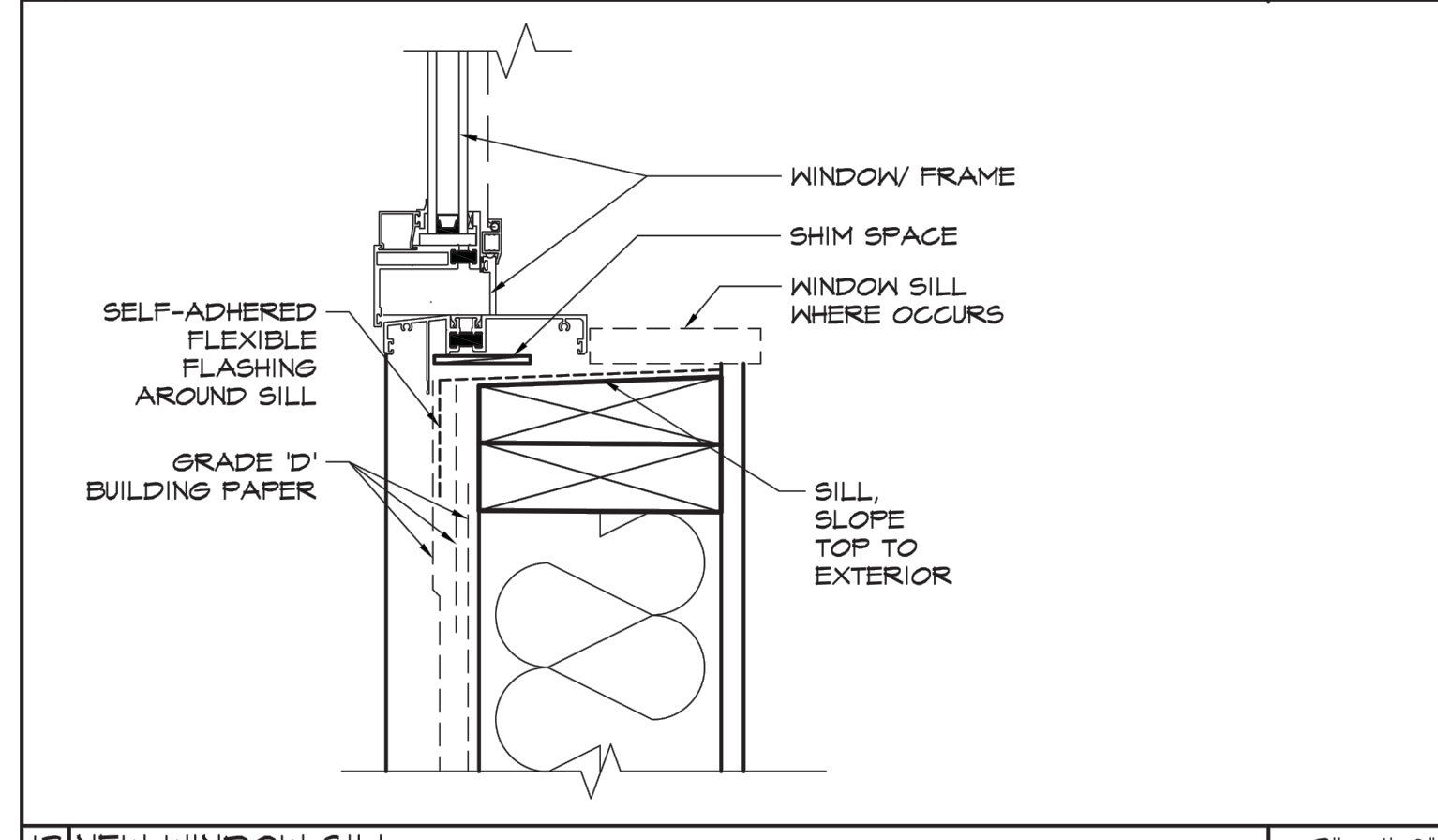
2 SCREED 1 1/2" = 1'-0"



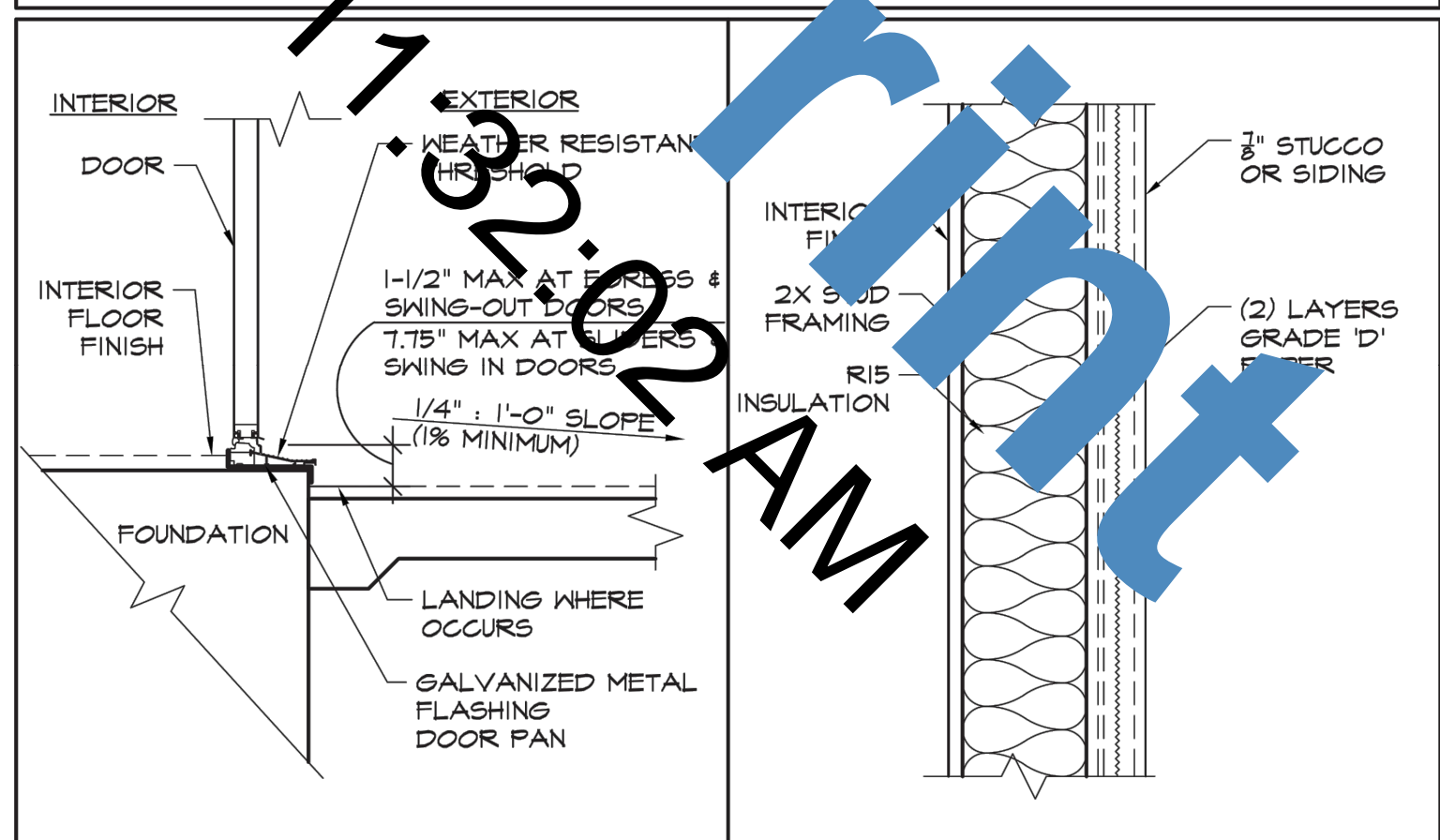
3 CURB AT NEW WALL 1 1/2" = 1'-0"



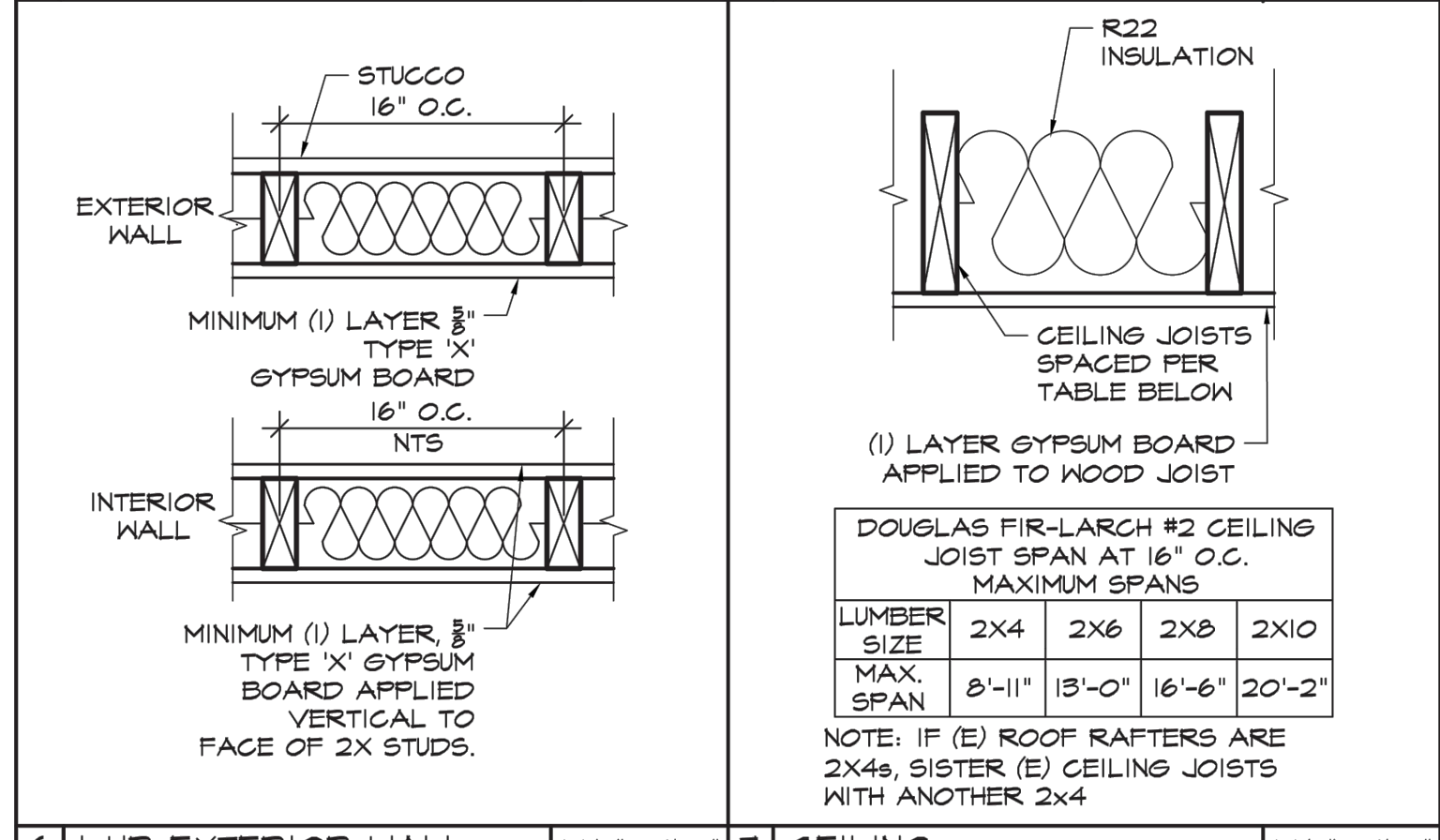
12 NEW WINDOW HEADER 3" = 1'-0"



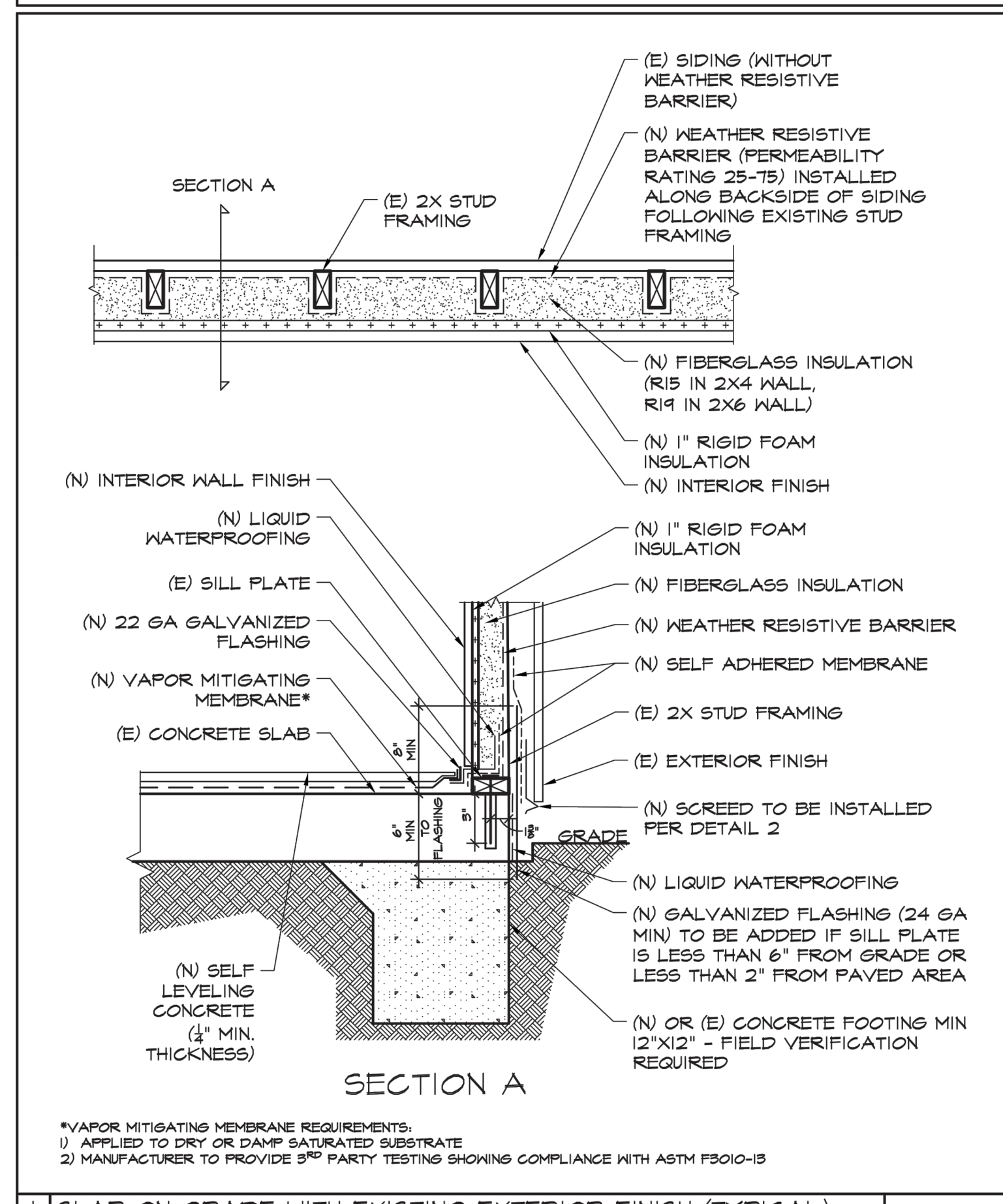
13 NEW WINDOW SILL 3" = 1'-0"



4 THRESHOLD AT DOOR 1" = 1'-0" 5 NEW WALL 1 1/2" = 1'-0"



6 1-HR EXTERIOR WALL 1 1/2" = 1'-0" 7 CEILING 1 1/2" = 1'-0"



1 SLAB ON GRADE WITH EXISTING EXTERIOR FINISH (TYPICAL) 1" = 1'-0"

PLAN CHECK REVIEW

SHEET TITLE

DETAILS

SHEET NUMBER

A6.00